

REGULAR NOTICE OF BOARD MEETING

20th DISTRICT AGRICULTURAL ASSOCIATION

Gold Country Fairgrounds and Event Center
1273 High Street, Auburn, California 95603
530-823-4533

MEETING DATE & LOCATION

Thursday, January 22, 2026 @ 4:45 pm
Clubhouse

1273 High Street, Auburn, CA 95603

Notice and Agenda available on the internet at www.goldcountryfair.com

20th DAA BOARD OF DIRECTORS

Peg Johnson, Chairman
Eddie Vegaalban, Vice Chairman
Corinn Crowley
Keri Askew Bailey
Bethel Vercruyssen
Doug Houston

PUBLIC COMMENT

Any member of the public wishing to address the Board on any matter listed on this agenda has a right to do so and will be afforded such opportunity when the Board is considering that agenda item. In addition, if a member of the public wishes to address the Board on a matter not listed on the agenda, you will be given such opportunity during the Public Comment item on the agenda. The Board President has the right to limit the time for public comment to a maximum of two (2) minutes or less, and not to exceed twenty (20) minutes total, to proceed with the agenda of the day and/or to place the item on the agenda (as an action item) of a subsequent meeting.

AMERICANS WITH DISABILITIES ACT

All Board meetings must be accessible to the physically disabled. Any person needing a disability-related accommodation or modification to attend or participate in any Board or Committee meetings, or other Gold Country Fair activities may request assistance by contacting Sonia Del Toro at Gold Country Fair Office.

REGULAR BOARD MEETING AGENDA

20th DISTRICT AGRICULTURAL ASSOCIATION

Gold Country Fairgrounds and Event Center
1273 High Street, Auburn, California 95603
530-823-4533

MEETING DATE & LOCATION

Thursday, January 22, 2026 @ 4:45 pm
Clubhouse

1273 High Street, Auburn, CA 95603

Notice and Agenda available on the internet at www.goldcountryfair.com

I. CALL TO ORDER:

A. All matters noticed on this agenda, in any category, may be considered for action as listed. Any item not so noticed may not be considered. Items listed on this agenda may be considered in any order at the discretion of the President.

II. PLEDGE OF ALLEGIANCE

III. ROLL CALL OF BOARD MEMBERS

IV. CONSENT CALENDAR:

A. Approval of Meeting Minutes as written:

1. Board Meeting Minutes dated November 13, 2025

B. Approval of Expenditures, Home Depot, Cal Card

1. See Checks and Payments Report

C. Approval of Monthly Financials

D. Approval of the following Agreements

1. F-31 Interim Rental Agreements: 25-18, 25-20, 25-25, 25-30, 25-56, 25-58, 25-60, 25-63, 25-66, 25-67, 25-69, 25-70, 25-71, 25-68, 25-72

2. Standard Contracts: None to Consider

3. Fair time Commercial Vendor Contracts: None to Consider

4. Fair time Concession Vendor Contracts: None to Consider

V. COMMITTEE REPORTS:

A. CEO Report

1. Placer Building, HVAC Replacement

2. Gold Country RV Park Project

B. Executive Committee

C. Interim Committee

D. Policy Committee

E. Buildings and Grounds Committee

F. Finance Committee

G. Long-Range Committee

- H. Fair Committee
- I. Nominating Committee
 - 1. Nominations & Elections

VI. **CORRESPONDENCE:**

- A. Items provided via email to Directors with copies available at the meeting.
 - 1. PMIA/LAIF Performance Report
 - 2. Western Fairs Association Convention
 - 3. CDFA Online University Training

VII. **FINANCIALS:**

- A. Finance Committee to discuss monthly finance report.

VIII. **OLD BUSINESS:**

- A. None to Consider

IX. **NEW BUSINESS:**

- A. 2026 Crab Feed
- B. Soroptimist of the American River x Gold Country Fair Golf Tournament/Scholarship
- C. 2026 Fair Theme
- D. 2027 Fair Dates

X. **MATTERS OF INFORMATION:**

- A. CEO Comments
- B. Director/Staff Comments
- C. Board Meeting Dates:
 - 1. Thursday, February 26, 2026
 - 2. Thursday, March 26, 2026
- D. Upcoming Key Activities

XI. **PUBLIC COMMENT:**

- A. Since items under Public Comment are not listed and publicly noticed on the agenda, please be advised that the Board cannot discuss or take any action at this meeting.

XII. **CLOSED SESSION:** The Board of Directors of the 20th DAA is permitted to meet in closed session to discuss the following: Personnel Matters- Government Code 11126(a): CEO Hiring.

XIII. **REPORT OUT OF CLOSED SESSION:** Report any action taken by the Board.

XIV. **ADJOURNMENT**

Further information regarding this regularly scheduled meeting of the Board of Directors for the 20th District Agricultural Association may be obtained by contacting the Chief Executive Officer at 1273 High Street, Auburn, CA 95603, telephone 530-823-4533.
Date of Notice January 12, 2026

MINUTES OF REGULAR BOARD MEETING

20th DISTRICT AGRICULTURAL ASSOCIATION

Gold Country Fairgrounds and Event Center
1273 High Street, Auburn, California 95603
530-823-4533

MEETING DATE & LOCATION

Thursday, November 13, 2025 @ 4:45 pm
Conference Room

1273 High Street, Auburn, CA 95603

Notice and Agenda available on the internet at www.goldcountryfair.com

I. CALL TO ORDER:

- A. All matters noticed on this agenda, in any category, may be considered for action as listed. Any item not so noticed may not be considered. Items listed on this agenda may be considered in any order at the discretion of the President.

II. PLEDGE OF ALLEGIANCE

III. ROLL CALL OF BOARD MEMBERS

Directors Present: President Johnson, Director Crowley, Director Vegaalban, Director Vercruyssen, Director Bailey, Director Houston

IV. CONSENT CALENDAR:

- A. Director Vegaalban moves to approve the Consent Calendar. Director Crowley to 2nd the motion.
B. President Johnson asks if there is any further discussion.
C. Director Houston states that he will be abstaining from the vote due to his absence at the previous regular meeting.

President Johnson asks all who are in favor of approving the Consent Calendar:

Board Member	Approved (Yes Vote)	Not Approved (No Vote)	Abstain
Peg Johnson	X		
Keri Askew Bailey	X		
Bethel Vercruyssen	X		
Doug Houston			X
Corinn Crowley	X		

Eddie Vegaalban	X		
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- a. Motion to approve the Consent Calendar passes.

V. **COMMITTEE REPORTS:**

A. CEO Report

1. CEO Ales announces states that he had the privilege of attending a CEO Symposium and adds that he will digitize his notes from the two-day event and share with the entire board.

- a. Director Crowley reports that she too attended the first day of the training and adds that CDFA stated that they invited each board of directors, but she did not personally receive any communication regarding the event.

B. Executive Committee

1. Director Vegaalban reports the committee has discussed the CEO Selection.

C. Interim Committee

D. Policy Committee

1. Director Crowley reports that the committee continues to evaluate what necessary policies need to be established following the audit and suggests that the new policies be presented in the new year under the guidance of the new leadership.

- a. Director Vegaalban agrees.

2. Director Crowley asks CEO Ales if delaying new policy implementation would pose a challenge for the Association in the short term.

- a. CEO Ales replies that it will not.

E. Buildings and Grounds Committee

F. Finance Committee

G. Long-Range Committee

H. Fair Committee

VI. **CORRESPONDENCE:**

- A. Items provided via email to Directors with copies available at the meeting.

1. PMIA/LAIF Performance Report

VII. **FINANCIALS:**

- A. Finance Committee to discuss monthly finance report.

VIII. **OLD BUSINESS:**

- A. None to Consider

IX. **NEW BUSINESS:**

- A. None to Consider

X. **MATTERS OF INFORMATION:**

A. CEO Comments

1. CEO Ales announces that there will be several holiday craft events coming up at the fairgrounds. CEO Ales adds that the Salvation Army is hosting their annual Thanksgiving meal at the fairgrounds if anyone would like to volunteer.

B. Director/Staff Comments

C. Board Meeting Dates:

1. Thursday, December 18, 2025
2. Thursday, January 22, 2026

D. Upcoming Key Activities

XI. **PUBLIC COMMENT:**

- A. Since items under Public Comment are not listed and publicly noticed on the agenda, please be advised that the Board cannot discuss or take any action at this meeting.

XII. **CLOSED SESSION:** The Board of Directors of the 20th DAA is permitted to meet in closed session to discuss the following: Personnel Matters- Government Code 11126(a) and Confidential Audit Response – Government Code 11126.2

XIII. **REPORT OUT OF CLOSED SESSION:** Report any action taken by the Board.

XIV. **ADJOURNMENT**

Further information regarding this regularly scheduled meeting of the Board of Directors for the 20th District Agricultural Association may be obtained by contacting the Chief Executive Officer at 1273 High Street, Auburn, CA 95603, telephone 530-823-4533.

Date of Notice November 3, 2025



Commercial Account



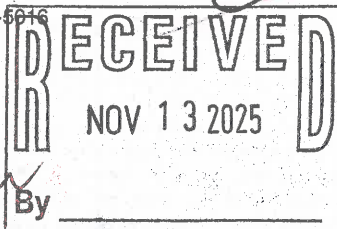
ACCOUNT ACTIVITY STATEMENT

RETURN MAIL ADDRESS
PO BOX 790420
ST. LOUIS, MO 63179

Commercial Account: 6035 3225 4096 3489
Statement Date 11/05/25
Credit Line \$3,000
Credit Available \$2,892

20TH DISTRICT AGRI ASSOC
1273 HIGH STREET
AUBURN, CA 95603-5916

Account Balance \$107.59



Account Information

Please see Payment Page(s) for Amount Due and Payment Due Date(s)

Current Payments and Unapplied Payments	\$0.00
Current Purchases and Debits	\$41.22
Current Returns, Exchanges and Adjustments	\$0.00
Previously Billed Invoices	\$66.37

PAST DUE INVOICES

1-29 Days	30-59 Days	60-89 Days	90-119 Days	120-149 Days	150-179 Days	180+ Days
\$66.37	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00



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CURRENT PURCHASES AND DEBITS

Date	Purchase Location/Description	Invoice #	Purchase Order/Job Name	Customer Agreement #	Amount	Due Date
10/24/25	THE HOME DEPOT AUBURN, CA	4021256	0		\$41.22	11/30/25
TOTAL					\$41.22	

PREVIOUSLY BILLED INVOICES

Please submit payment for all past due amounts.

Date	Purchase Location/Description	Invoice #	Purchase Order/Job Name	Customer Agreement #	Amount	Due Date
09/12/25	THE HOME DEPOT AUBURN, CA	6521787			\$66.37	10/31/25
TOTAL					\$66.37	

PURCHASE HISTORY

Year to Date	\$4,957.55
Life to Date	\$110,697.51

Questions
About Your
Account

ACCT MGR HOME DEPOT CREDIT SERVICES
PHONE 1-800-395-7363 (TTY: 711)
FAX 1-877-969-6751
EMAIL WWW.HOMEDEPOT.COM/MYCOMMERCIALACCOUNT

Send Billing Inquiries to:
HOME DEPOT CREDIT SERVICES
PO Box 790340
St. Louis, MO 63179-0340

Send a SECURE MESSAGE
right now to a customer
service professional online at
myhomedepotaccount.com

NOTICE: SEE REVERSE SIDE FOR IMPORTANT INFORMATION

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8 HP 5

This Account is Issued by Citibank, N.A.

Account Number : XXXX XXXX XXXX 7299
Unique ID: 0142 5110 1847 1980
20th Daa
Statement Date : 11-24-2025



Page 1 of 2

Corporate Account Summary

Previous Balance	\$6,128.03
Purchases and Other Charges	\$879.71
Cash Advances	\$0.00
Cash Advance Fees	\$0.00
Late Payment Charges	\$0.00
Credits	\$27.87 CR
Payments	\$0.00 PY

New Balance \$6,979.87

Disputed Amount \$0.00

Payment Information

Amount Due \$6,979.87

Payment due in accordance with your agreement with U.S. Bank.

QUESTIONS OR TO REPORT A LOST OR STOLEN CARD,
CALL CUSTOMER SERVICE 1-800-344-5696

To overnight or courier a payment, please send to:

Corporate Payment Systems
3180 Rider Trail S, Department 790428
Earth City, MO 63045-1518

Account Messages

Your account is past due \$6,100.16. Past due amount is included in the amount due. Please remit immediately.

Corporate Account Activity

20th Daa	Total Corporate Activity
Account Number: XXXX XXXX XXXX 7299	\$0.00
Unique ID: 0142 5110 1847 1980	

Post Date	Tran Date	Reference Number	Transaction Description	Amount
No Activity This Period				

New Activity

Don Ales	Purchases	\$879.71	Total Activity	\$851.84
Account Number: XXXX XXXX XXXX 4412	Cash Advances	\$0.00		
Unique ID: 0142 5476 1876 7565	Cash Advances Fees	\$0.00		
	Credits	\$27.87 CR		

Post Date	Tran Date	Reference Number	Transaction Description	Amount
10-24	10-24	24692165297100781207927	AMAZON MKTPL*NU9ZG50D2 AMZN.COM/BILL WA	20.37

(transactions continued on next page)

✕ Payment may be made electronically or by check made payable to Corporate Payment Systems.

CORPORATE PAYMENT SYSTEMS
P.O. BOX 6343
FARGO, ND 58125-6343

4246044555657299 000697987 000697987

Account Number: XXXX XXXX XXXX 7299
Unique ID: 0142 5110 1847 1980
Amount Due: \$6,979.87

Amount Enclosed \$

If paying by check, include coupon with payment to address below.

CORPORATE PAYMENT SYSTEMS
P.O. BOX 790428
ST. LOUIS, MO 63179-0428

00000003319 000638076510805 P 2



20TH DAA
MALLORY HUDSON
PO BOX 5527
AUBURN CA 95604-5527

			New Activity cont	
10-27	10-24	24692165297101249585318	AMAZON MKTPL*N425P3N30 AMZN.COM/BILL WA	42.89
10-28	10-27	74692165300104399756283	AMAZON MKTPLCE PMTS AMZN.COM/BILL WA	27.87 CR
10-28	10-27	24793385300000707932086	ADOBE INC SAN JOSE CA	19.99✓
10-29	10-28	24137465302001333509754	USPS PO 0504020603 AUBURN CA	46.80✓
10-30	10-29	24692165302105952829600	AMAZON MKTPL*NK7455CR0 AMZN.COM/BILL WA	24.65
10-31	10-30	24692165303107039169041	AMAZON MKTPL*NK7554LH1 AMZN.COM/BILL WA	18.22
11-05	11-04	24692165308101693317801	AMAZON MKTPL*NK9520XN2 AMZN.COM/BILL WA	13.61✓
11-05	11-04	24692165308101756617774	AMAZON PRIME*7N0YO4433 AMZN.COM/BILL WA	16.08✓
11-07	11-06	24011345310100098361354	AMAZON RETA* NK3UI4KI2 WWW.AMAZON.CO WA	68.04✓
11-10	11-07	24692165311101364957641	AMAZON MKTPL*BT5700G90 AMZN.COM/BILL WA	68.63
11-10	11-07	24793385311000418904074	ADOBE INC SAN JOSE CA	19.99
11-10	11-08	24793385312000916736092	ADOBE INC SAN JOSE CA	19.99✓
11-11	11-10	24000775315100013772053	USPUMPPARTS.COM USPUMPPARTS.C TN	70.55✓
11-12	11-11	24431065316324390602832	AUBURN ACE HARDWARE AUBURN CA	2.43✓
11-12	11-11	24445005316400156893300	SAMS CLUB #6621 ROSEVILLE CA	42.38
11-12	11-11	24489935316001086647231	EDGES ELECTRICAL GROUP AU AUBURN CA	67.59✓
11-12	11-11	24692165315105155639066	AMAZON MKTPL*B83W91L91 AMZN.COM/BILL WA	67.51
11-18	11-17	24137465322001337138341	USPS PO 0504020603 AUBURN CA	78.00✓
11-18	11-17	24692165321100862440470	AMAZON MKTPL*B01B834D1 AMZN.COM/BILL WA	9.64✓
11-20	11-19	24204295323001855220081	EBAY O*24-13851-72189 800-4563229 CA	92.47✓
11-20	11-19	24692165323102790261562	AMAZON MKTPL*B02O351T2 AMZN.COM/BILL WA	21.44✓
11-24	11-21	24692165325104579886013	AMAZON MKTPL*B048T2800 AMZN.COM/BILL WA	36.66✓
11-24	11-22	24692165326105285196661	AMAZON MKTPL*B012B9RY1 AMZN.COM/BILL WA	11.78✓
			Department: 00000	Total: \$851.84
			Division: 00000	Total: \$851.84

Account Number : XXXX XXXX XXXX 7299
Unique ID: 0142 5110 1847 1980
20th Daa
Statement Date : 12-22-2025



Page 1 of 4

Corporate Account Summary		Payment Information	
Previous Balance	\$6,979.87	Amount Due	\$3,389.07
Purchases and Other Charges	\$2,571.52	Payment due in accordance with your agreement with U.S. Bank.	
Cash Advances	\$0.00	QUESTIONS OR TO REPORT A LOST OR STOLEN CARD, CALL CUSTOMER SERVICE 1-800-344-5696	
Cash Advance Fees	\$0.00		
Late Payment Charges	\$0.00		
Credits	\$34.29 CR		
Payments	\$6,128.03 PY		
New Balance	\$3,389.07	To overnight or courier a payment, please send to: Corporate Payment Systems 3180 Rider Trail S, Department 790428 Earth City, MO 63045-1518	
Disputed Amount	\$0.00		

Account Messages

Your account is past due \$817.55. Past due amount is included in the amount due. Please remit immediately.

Corporate Account Activity

20th Daa						Total Corporate Activity	
Account Number: XXXX XXXX XXXX 7299						\$6,128.03 CR	
Unique ID: 0142 5110 1847 1980							
Post	Tran						
Date	Date	Reference Number	Transaction Description			Amount	
11-25	11-20	74798265329000000000095	PAYMENT - THANK YOU	00000	C	6,128.03 PY	

New Activity

Don Ales	Purchases	\$2,571.52	Total Activity	\$2,537.23
Account Number: XXXX XXXX XXXX 4412	Cash Advances	\$0.00		
Unique ID: 0142 5476 1876 7565	Cash Advances Fees	\$0.00		
	Credits	\$34.29 CR		

Post Date	Tran Date	Reference Number	Transaction Description	Amount
11-25	11-24	74692165328107461564087	AMAZON MKTPLACE PMTS AMZN.COM/BILL WA	11.78 CR
11-25	11-24	24692165328107313982094	AMAZON MKTPL*B24IM30S1 AMZN.COM/BILL WA	56.52

(transactions continued on next page)

✂ Payment may be made electronically or by check made payable to Corporate Payment Systems.

CORPORATE PAYMENT SYSTEMS
P.O. BOX 6343
FARGO, ND 58125-6343

4246044555657299 000338907 000338907

Account Number: XXXX XXXX XXXX 7299
Unique ID: 0142 5110 1847 1980
Amount Due: \$3,389.07

Amount Enclosed \$

If paying by check, include coupon with payment to address below.

CORPORATE PAYMENT SYSTEMS
P.O. BOX 790428
ST. LOUIS, MO 63179-0428

00000003550 000638093365393 P 2



20TH DAA
MALLORY HUDSON
PO BOX 5527
AUBURN CA 95604-5527

New Activity cont				
11-26	11-25	24011345329100104431646	AMAZON RETA* B20JS8HM2 WWW.AMAZON.CO WA	20.32 ✓
11-26	11-25	24692165329108138241913	AMAZON MKTPL*B251G9A60 AMZN.COM/BILL WA	20.36 ✓
11-26	11-25	24692165329108490594917	AMAZON MKTPL*B218180I0 AMZN.COM/BILL WA	21.44 ✓
11-26	11-25	24692165329108710202085	AMAZON MKTPL*B231Z76Z1 AMZN.COM/BILL WA	9.21 ✓
11-28	11-27	24793385331000912833213	ADOBE INC 800-8336687 CA	19.99 ✓
12-01	11-28	24692165332101222711011	AMAZON MKTPL*B22ND87S0 AMZN.COM/BILL WA	101.77 ✓
12-01	11-29	24692165333101500801749	AMAZON MKTPL*BB6RK3Z21 AMZN.COM/BILL WA	21.44 ✓
12-03	12-02	24011345336100158554179	AMAZON RETA* BI90Z2NF2 WWW.AMAZON.CO WA	39.76 ✓
12-03	12-02	24204295336001647487068	EBAY O*05-13923-79327 800-4563229 CA	49.20 ✓
12-03	12-02	24204295336001647506065	EBAY O*05-13923-79329 800-4563229 CA	42.88 ✓
12-03	12-02	24204295336001647542060	EBAY O*05-13923-79324 800-4563229 CA	21.44 ✓
12-04	12-03	24204295337001279426078	EBAY O*04-13928-09651 800-4563229 CA	22.51 ✓
12-04	12-03	24445005338400162894031	SAMS CLUB #6621 ROSEVILLE CA	53.46 ✓
12-04	12-03	24692165337105954685751	LOWES #00907* 866-483-7521 NC	302.45 ✓
12-04	12-03	24692165337105954685769	LOWES #00907* 866-483-7521 NC	504.08 ✓
12-04	12-03	24692165337106160871839	AMAZON MKTPL*BI2W39071 AMZN.COM/BILL WA	21.43 ✓
12-04	12-03	24692165337106167420150	AMAZON MKTPL*BB0101KC0 AMZN.COM/BILL WA	26.96 ✓
12-04	12-03	2494300533837330524651	COSTCO WHSE #0029 ROSEVILLE CA	16.15 ✓
12-05	12-04	24692165338107329946917	AMAZON PRIME*V36H47S73 AMZN.COM/BILL WA	16.08 ✓
12-08	12-04	24692165339108114731232	MICHAELS STORES 1247 AUBURN CA	214.49 ✓
12-08	12-05	24692165339108439235604	LOWES #01207* ROSEVILLE CA	214.34 ✓
12-08	12-05	24692165339108439235943	LOWES #01207* ROSEVILLE CA	38.73 ✓
12-08	12-05	24692165339108439235950	LOWES #01207* ROSEVILLE CA	224.10 ✓
12-08	12-06	24692165340109537586341	LOWES #02499* LINCOLN CA	100.82 ✓
12-08	12-07	24793385341000909861027	ADOBE INC SAN JOSE CA	19.99 ✓
12-09	12-08	24793385342001905248218	ADOBE INC 800-8336687 CA	19.99 ✓
12-11	12-10	74204295344001207895077	EBAY O*04-13928-09651 800-4563229 CA	22.51 CR ✓
12-11	12-10	24692165344103567365276	AMAZON MKTPL*PL9EC1393 AMZN.COM/BILL WA	24.65 ✓
12-11	12-10	24943005345341482510964	COSTCO WHSE #0029 ROSEVILLE CA	118.44 ✓
12-12	12-11	24692165345104578394445	AMAZON MKTPL*7U2YH7X03 AMZN.COM/BILL WA	28.90 ✓
12-12	12-11	24943005346342087533814	COSTCO WHSE #0029 ROSEVILLE CA	19.37 ✓
12-15	12-12	24692165346105623987272	AMAZON MKTPL*L958Y9P23 AMZN.COM/BILL WA	28.95 ✓
12-19	12-18	24445005353400182821907	SAMS CLUB #6621 ROSEVILLE CA	36.99 ✓
12-19	12-18	24692165352101585884772	AMAZON MKTPL*UL74M67I3 AMZN.COM/BILL WA	62.18 ✓

(transactions continued on next page)



New Activity cont				
12-19	12-18	24692165352101588121073	AMAZON MKTPL*431M90HT3 AMZN.COM/BILL WA	32.13
			Department: 00000	Total: \$2,537.23
			Division: 00000	Total: \$2,537.23

Gold Country Fair CHECKS/PAYMENTS As of December 31, 2025

Date	Num	Name	Memo	Amount
10000 · Cash Accounts				
11100 · Petty Cash				
Total 11100 · Petty Cash				
11200 · Change Funds				
Total 11200 · Change Funds				
11300 · Operating				
12/02/2025			To Transfer Money to 5 Star	-86.30
12/02/2025	17383	GOLD COUNTRY FAIR		-21,050.11
Total 11300 · Operating				
11350 · ***** Operating *****				
12/02/2025	17383	GOLD COUNTRY FAIR	To Transfer Money to 5 Star	21,050.11
12/05/2025	20276	Eryn Sasaki	Festival of Lights	-128.57
12/05/2025	20277	Ray Smith	Festival of Lights	-10.98
12/05/2025	20278	James Corgan	Antifreeze	-22.51
12/05/2025	20279	CALIFORNIA CONSTRUCTION AUTHORITY	Agreement # 24-0936-000-SG	-252,689.05
12/05/2025	20280	AFFORDABLE LOCK & KEY	Invoice#29809	-252.96
12/05/2025	20281	American River Backflow	Invoice#3033	-120.00
12/05/2025	20282	CALPERS	customer id # 358312309 - 18123631	-2,090.40
12/05/2025	20283	DAWSON OIL	UNLEADED GAS #31249	-82.67
12/05/2025	20284	DELTA DENTAL	DENTAL PREMIUMS - 05-R10113400000	-87.61
12/05/2025	20285	Foothill Electric, Inc.	Invoice#003519	-502.00
12/05/2025	20286	IAFE	MEMBER NO. 258 F01	-225.00
12/05/2025	20287	Joseph Mabry	Sprinkler	-225.00
12/05/2025	20288	Napa Auto Parts	Account# 8806335	-29.26
12/05/2025	20289	Orchid Investment Group	Invoice#SPD041110	-264.00
12/05/2025	20290	PLACER COUNTY WATER AGENCY A000058189	UNTREATED WATER SERVICE 10/10-11/10/2025	-983.50
12/05/2025	20291	PLACER COUNTY WATER AGENCY A000058216	TREATED WATER - 10/10-11/10/2025	-1,725.12
12/05/2025	20292	PLACER COUNTY WATER AGENCY A000058231	TREATED WATER - 10/10-11/10/2025	-250.37
12/05/2025	20293	SONITROL	Invoice #5292034	-318.29
12/05/2025	20294	WALKER'S OFFICE SUPPLY	Acct#2158 - Statement as of 11/24/2025	-1,034.31
12/05/2025	20295	Wave - 1401060001901	1401-0600019-01	-568.77
12/05/2025	20296	Eryn Sasaki	Festival of Lights	-32.94
12/05/2025	20297	Kyle Sirman	Maintenance	-828.00
12/05/2025	20298	James Corgan	Maintenance	-432.00
12/12/2025	20299	Kyle Sirman	Maintenance	-1,035.50
12/12/2025	20300	James Corgan	Maintenance	-608.00
12/12/2025	20301	Eryn Sasaki	Festival of Lights	-32.38
12/12/2025	20302	Cintas	Payee#21783997	-199.60
12/12/2025	20303	HARRIS INDUSTRIAL GASES	ACCOUNT# 00181	-40.25
12/12/2025	20304	Hunt & Sons LLC	Invoice# 882070	-473.56
12/12/2025	20305	Logic1	Invoice#3048	-662.50
12/12/2025	20306	MALLORY HUDSON BOOKKEEPING	INVOICE Nov	-960.00
12/12/2025	20307	P.G. & E	5510802902-0	-719.80
12/12/2025	20308	PLACER COUNTY WATER AGENCY A000061505	Untreated Water	-123.49
12/12/2025	20309	Recology Auburn Placer 45187	Account# A0040045187	-418.24

Gold Country Fair
CHECKS/PAYMENTS
As of December 31, 2025

Date	Num	Name	Memo	Amount
12/12/2025	20310	Sierra Saw	530-210-4512	-151.00
12/12/2025	20311	Wave - 1401103595901	Account# 1401-1035959-01	-275.99
12/12/2025	20312	Wave - 1401105198401	Account# 1401-1051984-01	-930.20
12/12/2025	20313	Ray Smith	Holiday Lunch	-245.57
12/19/2025	20314	Ray Smith	AIM Lunch - Xmas	-202.38
12/19/2025	20315	Kyle Sirman	Maintenance	-883.50
12/19/2025	20316	James Corgan	Maintenance	-304.00
12/19/2025	20317	IVONE AMBROZEWICZ	Contract#25-56	-400.00
12/19/2025	20318	THE SALVATION ARMY-DEL ORO DIVISION	Contract#25-60	-1,100.00
12/19/2025	20319	Juan Alvarez	Contract#25-67	-555.00
12/19/2025	20320	Lucky Find Market Inc	Contract#25-63	-280.00
12/19/2025	20321	49'ER HISTORICAL BOTTLE ASSOCIATION	Contract#25-30	-750.00
12/19/2025	20322	RW Townsend Post 84 Am Legion	Contract#25-29	-750.00
12/19/2025	20323	AUBURN GRACE COMMUNITY CHURCH	Contract#25-34	-750.00
12/19/2025	20324	CALTRONICS	Invoice#4530384-CAL	-140.88
12/19/2025	20325	CFSA	Statement 10/31-11/20/2025	-7,312.64
12/19/2025	20326	Craft & Culture Mobile Mixology	Invoice#3215	-929.88
12/19/2025	20327	Department of Housing and Community Devel	Decal#CCG1855	-33.00
12/19/2025	20328	HOME DEPOT	3489	-377.66
12/19/2025	20329	PG & E	4220514639-4	-8,185.04
12/19/2025	20330	The Sherwin Williams Co.	Acct#8330-2735-2	-21.86
12/22/2025	20336	Kyle Sirman	Maintenance	-156.75
12/26/2025	20331	James Corgan	Maintenance	-608.00
12/30/2025	20332	MALLORY HUDSON BOOKKEEPING	December	-1,120.00
12/30/2025	20333	Eryn Sasaki	Bank Deposit	-23.10
12/30/2025	20334	James Corgan	Maintenance	-304.00
12/30/2025	20337	BIC - Berkley Fire & Marine Underwriters	Acct#20008374	-1,968.00
12/30/2025	20338	CALPERS		-2,199.31
12/30/2025	20339	CALTRONICS	Invoice#4530387-CAL	-140.88
12/30/2025	20340	DELTA DENTAL	DENTAL PREMIUMS - 05-R10113400000	-87.61
12/30/2025	20341	DEPARTMENT OF FORESTRY AND FIRE PROTE...	Invoice#176254 - Nov 2025	-60.00
12/30/2025	20342	PLACER COUNTY WATER AGENCY A000058189	UNTREATED WATER SERVICE 11/11-12/11/2025	-935.46
12/30/2025	20343	PLACER COUNTY WATER AGENCY A000058216	TREATED WATER - 11/11-12/11/2025	-1,644.35
12/30/2025	20344	PLACER COUNTY WATER AGENCY A000058231	TREATED WATER - 11/11-12/11/2025	-242.54
12/30/2025	20345	VERIZON WIRELESS	672399948-00001	-207.15
12/30/2025	20346	Wave - 1401060001901	1401-0600019-01	-568.77
12/30/2025			Service Charge	-426.57
Total 11350 · ***** Operating *****				-282,397.61
11400 · Premium Account				
Total 11400 · Premium Account				
11410 · PREMIUM ACCOUNT COMMUNITY 1ST				
Total 11410 · PREMIUM ACCOUNT COMMUNITY 1ST				
11450 · ***** Premium *****				
Total 11450 · ***** Premium *****				

Gold Country Fair

CHECKS/PAYMENTS

As of December 31, 2025

Date	Num	Name	Memo	Amount
11500 · Payroll				
Total 11500 · Payroll				
11550 · ***** Payroll *****				
12/15/2025		PAYROLL PEOPLE INC.		-90.54
12/15/2025		IRS DESUSATAXPYMT	Payroll 12/15/2025	-4,857.25
12/15/2025	dd	Jr., Anthony Smith	Direct Deposit	-2,858.21
12/15/2025	dd	Sasaki, Eryn	Direct Deposit	-1,998.30
12/15/2025	dd	Rottler, John	Direct Deposit	-995.24
12/15/2025	dd	Toro, Sonia Del	Direct Deposit	-2,223.97
12/15/2025	dd	Ambriz, Antonio	Direct Deposit	-792.61
12/15/2025	dd	ALES, DONALD	Direct Deposit	-3,810.22
12/30/2025		PAYROLL PEOPLE INC.		-90.54
12/30/2025		IRS DESUSATAXPYMT	Payroll 12/30/2025	-4,752.71
12/30/2025	dd	Jr., Anthony Smith	Direct Deposit	-2,370.44
12/30/2025	dd	Sasaki, Eryn	Direct Deposit	-1,966.92
12/30/2025	dd	Rottler, John	Direct Deposit	-995.24
12/30/2025	dd	Toro, Sonia Del	Direct Deposit	-2,223.97
12/30/2025	dd	Ambriz, Antonio	Direct Deposit	-1,123.59
12/30/2025	dd	ALES, DONALD	Direct Deposit	-3,810.22
Total 11550 · ***** Payroll *****				
-34,959.97				
11601 · Money Market (Operating)				
Total 11601 · Money Market (Operating)				
11603 · Savings - Unclaimed				
Total 11603 · Savings - Unclaimed				
11700 · JLA Cash Account				
Total 11700 · JLA Cash Account				
11710 · JLA New 08/2016				
Total 11710 · JLA New 08/2016				
11750 · ***** JLA*****				
Total 11750 · ***** JLA*****				
11800 · LAIF				
Total 11800 · LAIF				
Total 10000 · Cash Accounts				
-338,493.99				
TOTAL				
-338,493.99				

Gold Country Fair
Balance Sheet
As of December 31, 2025

	<u>Dec 31, 25</u>
ASSETS	
Current Assets	
Checking/Savings	
10000 · Cash Accounts	
11100 · Petty Cash	200.00
11350 · ***** Operating *****	125,022.88
11450 · ***** Premium *****	897.00
11601 · Money Market (Operating)	5,594.93
11750 · ***** JLA*****	71,079.47
11800 · LAIF	919.56
11810 · *****Public Funds*****	238,008.38
Total 10000 · Cash Accounts	<u>441,722.22</u>
Total Checking/Savings	<u>441,722.22</u>
Accounts Receivable	
13100 · Accounts Receivable	5,174.00
13103 · JLA Accounts Receivable	16,413.42
Total Accounts Receivable	<u>21,587.42</u>
Other Current Assets	
13110 · Allowance for Doubtful Account	-5,156.04
13115 · JLA Allowance for Doubtful Acct	-16,413.42
Total Other Current Assets	<u>-21,569.46</u>
Total Current Assets	<u>441,740.18</u>
Fixed Assets	
19000 · Construction in Progress	491,622.61
19100 · Land	54,369.96
19200 · Buildings & Improvements	5,942,322.22
19210 · Accumulated Depreciation	-3,156,505.91
19300 · Equipment	374,307.44
19310 · Accumulated Depreciation Equip.	-317,934.10
Total Fixed Assets	<u>3,388,182.22</u>
Other Assets	
16000 · Deferred Outflows of Resources	280,111.25
Total Other Assets	<u>280,111.25</u>
TOTAL ASSETS	<u><u>4,110,033.65</u></u>
LIABILITIES & EQUITY	
Liabilities	
Current Liabilities	
Other Current Liabilities	
22800 · Deferred Income	254,018.05
23100 · Loans Payable - SB 84	47,779.00
24110 · Security Deposits	18,538.00
24500 · Leave Liability	35,095.74
Total Other Current Liabilities	<u>355,430.79</u>
Total Current Liabilities	<u>355,430.79</u>
Long Term Liabilities	
25600 · Deferred Inflows of Resources	8,983.54
26000 · Net Pension Liability	578,481.37
Total Long Term Liabilities	<u>587,464.91</u>
Total Liabilities	<u>942,895.70</u>

Gold Country Fair
Balance Sheet
As of December 31, 2025

	Dec 31, 25
Equity	
1110 · Retained Earnings	-205,541.94
25100 · JLA Reserve	83,872.72
29100 · Net Resources - Operations	3,352,252.07
29400 · Unrestricted Net Position - Pen	-101,803.16
Net Income	38,358.26
Total Equity	3,167,137.95
TOTAL LIABILITIES & EQUITY	4,110,033.65

Gold Country Fair
Balance Sheet
As of December 31, 2025

	Dec 31, 25	Dec 31, 24	\$ Change	% Change
ASSETS				
Current Assets				
Checking/Savings				
10000 · Cash Accounts	441,722.22	629,764.77	-188,042.55	-29.9%
Total Checking/Savings	441,722.22	629,764.77	-188,042.55	-29.9%
Accounts Receivable				
13100 · Accounts Receivable	5,174.00	7,688.75	-2,514.75	-32.7%
13103 · JLA Accounts Receivable	16,413.42	16,413.42	0.00	0.0%
Total Accounts Receivable	21,587.42	24,102.17	-2,514.75	-10.4%
Other Current Assets				
13110 · Allowance for Doubtful Account	-5,156.04	-5,156.04	0.00	0.0%
13115 · JLA Allowance for Doubtful Acct	-16,413.42	-16,413.42	0.00	0.0%
Total Other Current Assets	-21,569.46	-21,569.46	0.00	0.0%
Total Current Assets	441,740.18	632,297.48	-190,557.30	-30.1%
Fixed Assets				
19000 · Construction in Progress	491,622.61	0.00	491,622.61	100.0%
19100 · Land	54,369.96	54,369.96	0.00	0.0%
19200 · Buildings & Improvements	5,942,322.22	5,942,322.22	0.00	0.0%
19210 · Accumulated Depreciation	-3,156,505.91	-3,156,505.91	0.00	0.0%
19300 · Equipment	374,307.44	374,307.44	0.00	0.0%
19310 · Accumulated Depreciation Equip.	-317,934.10	-317,934.10	0.00	0.0%
Total Fixed Assets	3,388,182.22	2,896,559.61	491,622.61	17.0%
Other Assets				
16000 · Deferred Outflows of Resources	280,111.25	280,111.25	0.00	0.0%
Total Other Assets	280,111.25	280,111.25	0.00	0.0%
TOTAL ASSETS	4,110,033.65	3,808,968.34	301,065.31	7.9%
LIABILITIES & EQUITY				
Liabilities				
Current Liabilities				
Other Current Liabilities				
22800 · Deferred Income	254,018.05	1,329.00	252,689.05	19,013.5%
23100 · Loans Payable - SB 84	47,779.00	47,779.00	0.00	0.0%
24110 · Security Deposits	18,538.00	8,520.00	10,018.00	117.6%
24500 · Leave Liability	35,095.74	35,095.74	0.00	0.0%
Total Other Current Liabilities	355,430.79	92,723.74	262,707.05	283.3%
Total Current Liabilities	355,430.79	92,723.74	262,707.05	283.3%
Long Term Liabilities				
25600 · Deferred Inflows of Resources	8,983.54	8,983.54	0.00	0.0%
26000 · Net Pension Liability	578,481.37	578,481.37	0.00	0.0%
Total Long Term Liabilities	587,464.91	587,464.91	0.00	0.0%
Total Liabilities	942,895.70	680,188.65	262,707.05	38.6%
Equity				
1110 · Retained Earnings	-205,541.94	0.00	-205,541.94	-100.0%
25100 · JLA Reserve	83,872.72	83,872.72	0.00	0.0%
29100 · Net Resources - Operations	3,352,252.07	3,352,252.07	0.00	0.0%
29400 · Unrestricted Net Position - Pen	-101,803.16	-101,803.16	0.00	0.0%
Net Income	38,358.26	-205,541.94	243,900.20	118.7%
Total Equity	3,167,137.95	3,128,779.69	38,358.26	1.2%
TOTAL LIABILITIES & EQUITY	4,110,033.65	3,808,968.34	301,065.31	7.9%

Gold Country Fair

Profit & Loss Prev Year Comparison

December 1 - 30, 2025

	Dec 1 - 30, 25	Dec 1 - 30, 24	\$ Change	% Change
Ordinary Income/Expense				
Income				
47000 · Misc. Fair Revenue				
47810 · CFSA Insurance	0.00	0.00	0.00	0.0%
Total 47000 · Misc. Fair Revenue	0.00	0.00	0.00	0.0%
47005 · Misc. Non Fair Program Revenue				
47105 · Admissions - Crab Feed	280.00	1,540.00	-1,260.00	-81.8%
Total 47005 · Misc. Non Fair Program Revenue	280.00	1,540.00	-1,260.00	-81.8%
48000 · Interim Rental Revenue				
48100 · Interim Rental - Buildings				
48110 · RENT - Schools	1,875.30	5,882.00	-4,006.70	-68.1%
48120 · RENT - Auburn Host Lions Bldg	3,745.00	1,240.00	2,505.00	202.0%
48140 · RENT - Sierra	2,325.00	4,165.00	-1,840.00	-44.2%
48150 · RENT - Sutter	1,707.19	1,307.19	400.00	30.6%
48170 · RENT - Placer	5,087.00	4,725.00	362.00	7.7%
48190 · RENT - Armory	2,173.50	0.00	2,173.50	100.0%
Total 48100 · Interim Rental - Buildings	16,912.99	17,319.19	-406.20	-2.4%
48200 · Interim Rental - Grounds				
48210 · RENT - McCann Stadium	5,115.00	3,935.00	1,180.00	30.0%
48230 · RENT - Horse Arena	596.00	568.00	28.00	4.9%
48262 · RENT - Patio	0.00	1,000.00	-1,000.00	-100.0%
48280 · RENT - Ballfields	1,818.75	0.00	1,818.75	100.0%
48285 · High Impact Event	0.00	1,072.00	-1,072.00	-100.0%
Total 48200 · Interim Rental - Grounds	7,529.75	6,575.00	954.75	14.5%
48300 · Interim Rental - Equipment/Tent	195.00	1,150.00	-955.00	-83.0%
48400 · Interim Concessions Revenue	0.00	1,226.40	-1,226.40	-100.0%
48500 · Utility Fee Reimbursement	936.45	2,507.23	-1,570.78	-62.7%
48600 · Interim Parking Revenue	6,000.00	0.00	6,000.00	100.0%
48700 · Other Interim Revenue				
48710 · Labor Reimbursement	100.00	505.00	-405.00	-80.2%
48770 · Rebates	178.57	172.18	6.39	3.7%
48780 · Other	4,748.23	0.00	4,748.23	100.0%
Total 48700 · Other Interim Revenue	5,026.80	677.18	4,349.62	642.3%
Total 48000 · Interim Rental Revenue	36,600.99	29,455.00	7,145.99	24.3%
49500 · Other Operating Revenue				
49510 · Interest Earnings	1,093.43	5,887.59	-4,794.16	-81.4%
49500 · Other Operating Revenue - Other	0.00	0.00	0.00	0.0%
Total 49500 · Other Operating Revenue	1,093.43	5,887.59	-4,794.16	-81.4%
Total Income	37,974.42	36,882.59	1,091.83	3.0%
Gross Profit	37,974.42	36,882.59	1,091.83	3.0%
Expense				
50000 · Administrative Expense				
50100 · Salaries - Permanent	21,197.70	16,326.88	4,870.82	29.8%

Gold Country Fair

Profit & Loss Prev Year Comparison

December 1 - 30, 2025

	Dec 1 - 30, 25	Dec 1 - 30, 24	\$ Change	% Change
50200 · Salaries - Temporary	0.00	3,633.00	-3,633.00	-100.0%
50300 · Compensated Leave Expense	0.00	7,194.65	-7,194.65	-100.0%
50310 · Employee Benefits	5,420.83	13,512.02	-8,091.19	-59.9%
50320 · Payroll Taxes	2,630.17	2,350.98	279.19	11.9%
50330 · Worker's Compensation Insurance	3,677.06	10,450.67	-6,773.61	-64.8%
50400 · Professional Services	2,742.50	2,021.08	721.42	35.7%
50700 · Office Supplies & Expense	997.64	3,414.37	-2,416.73	-70.8%
50800 · Telephone & Postage Expense	207.15	207.95	-0.80	-0.4%
50900 · Dues & Subscriptions	33.00	1,321.97	-1,288.97	-97.5%
51000 · Insurance (General Liability)	4,556.64	8,542.23	-3,985.59	-46.7%
51500 · Bank Charges	-63.78	2,628.79	-2,692.57	-102.4%
Total 50000 · Administrative Expense	41,398.91	71,604.59	-30,205.68	-42.2%
52000 · Maintenance/General Operations				
52100 · Salaries - Permanent	6,410.02	6,004.88	405.14	6.8%
52200 · Salaries - Temporary	4,541.00	4,767.13	-226.13	-4.7%
52210 · Employee Benefits	0.00	0.00	0.00	0.0%
52300 · Professional Services	5,524.83	7,857.75	-2,332.92	-29.7%
52800 · Light, Heat & Water	15,201.47	29,366.42	-14,164.95	-48.2%
52850 · Temp Internet Services	1,774.96	2,296.83	-521.87	-22.7%
52900 · Maintenance of Equip./Supplies	2,290.06	7,541.33	-5,251.27	-69.6%
53000 · Maintenance of Buildings/Ground	1,050.78	2,717.52	-1,666.74	-61.3%
Total 52000 · Maintenance/General Operations	36,793.12	60,551.86	-23,758.74	-39.2%
54000 · Publicity				
54400 · Advertising	0.00	460.10	-460.10	-100.0%
Total 54000 · Publicity	0.00	460.10	-460.10	-100.0%
56000 · Attendance Operations				
56300 · Supplies & Expense	0.00	0.00	0.00	0.0%
Total 56000 · Attendance Operations	0.00	0.00	0.00	0.0%
57005 · Misc. Non-Fair Programs				
57205 · Supplies & Expense	0.00	0.00	0.00	0.0%
57605 · Professional Services	929.88	0.00	929.88	100.0%
Total 57005 · Misc. Non-Fair Programs	929.88	0.00	929.88	100.0%
80000 · Prior Year Expense Adjustment	0.00	10,794.20	-10,794.20	-100.0%
90000 · Depreciation				
91200 · Buildings & Improvements	0.00	127,804.98	-127,804.98	-100.0%
91300 · Equipment	0.00	17,924.39	-17,924.39	-100.0%
Total 90000 · Depreciation	0.00	145,729.37	-145,729.37	-100.0%
Total Expense	79,121.91	289,140.12	-210,018.21	-72.6%
Net Ordinary Income	-41,147.49	-252,257.53	211,110.04	83.7%
Other Income/Expense				
Other Income				
31200 · State Allocations	69,500.00	0.00	69,500.00	100.0%
Total Other Income	69,500.00	0.00	69,500.00	100.0%
Other Expense				
57600 · JLA				
57640 · Supplies & Expense	0.00	6,040.00	-6,040.00	-100.0%
57690 · Other	0.00	163.81	-163.81	-100.0%
Total 57600 · JLA	0.00	6,203.81	-6,203.81	-100.0%

Gold Country Fair
Profit & Loss Prev Year Comparison
December 1 - 30, 2025

	Dec 1 - 30, 25	Dec 1 - 30, 24	\$ Change	% Change
96000 · Pension Expense	0.00	102,775.25	-102,775.25	-100.0%
Total Other Expense	0.00	108,979.06	-108,979.06	-100.0%
Net Other Income	69,500.00	-108,979.06	178,479.06	163.8%
Net Income	28,352.51	-361,236.59	389,589.10	107.9%

Gold Country Fair

Profit & Loss Prev Year Comparison

January through December 2025

	Jan - Dec 25	Jan - Dec 24	\$ Change	% Change
Ordinary Income/Expense				
Income				
41000 · Admissions to Grounds				
41010 · Admissions - Regular Gate	213,263.00	0.00	213,263.00	100.0%
Total 41000 · Admissions to Grounds	213,263.00	0.00	213,263.00	100.0%
41500 · Industrial & Commercial Space				
41510 · Inside Commercial Space	23,857.30	0.00	23,857.30	100.0%
41520 · Outside Commercial Space	34,782.30	0.00	34,782.30	100.0%
Total 41500 · Industrial & Commercial Space	58,639.60	0.00	58,639.60	100.0%
42000 · Concessions				
42100 · Carnival	101,495.80	0.00	101,495.80	100.0%
42110 · Carnival - Presale	13,500.00	0.00	13,500.00	100.0%
42200 · Food Concessions				
42210 · Food Concessions Health Permit	320.00	0.00	320.00	100.0%
42220 · Food Concessions - Product Fee	116,668.27	0.00	116,668.27	100.0%
Total 42200 · Food Concessions	116,988.27	0.00	116,988.27	100.0%
Total 42000 · Concessions	231,984.07	0.00	231,984.07	100.0%
43000 · Exhibits				
43100 · Entry Fees	7,628.00	0.00	7,628.00	100.0%
Total 43000 · Exhibits	7,628.00	0.00	7,628.00	100.0%
46000 · Fair Attractions				
46400 · Destruction Derby	28,083.30	0.00	28,083.30	100.0%
Total 46000 · Fair Attractions	28,083.30	0.00	28,083.30	100.0%
47000 · Misc. Fair Revenue				
47100 · Parking	29,510.00	0.00	29,510.00	100.0%
47300 · Utility Fee Reimbursement	3,835.00	0.00	3,835.00	100.0%
47810 · CFSA Insurance	380.00	0.00	380.00	100.0%
47900 · Sponsorships	73,215.00	0.00	73,215.00	100.0%
47000 · Misc. Fair Revenue - Other	1,135.00	0.00	1,135.00	100.0%
Total 47000 · Misc. Fair Revenue	108,075.00	0.00	108,075.00	100.0%
47005 · Misc. Non Fair Program Revenue				
47105 · Admissions - Crab Feed	15,217.00	0.00	15,217.00	100.0%
47305 · Vendors - 4th of July	0.00	0.00	0.00	0.0%
Total 47005 · Misc. Non Fair Program Revenue	15,217.00	0.00	15,217.00	100.0%
48000 · Interim Rental Revenue				
48100 · Interim Rental - Buildings				
48110 · RENT - Schools	65,689.78	0.00	65,689.78	100.0%
48120 · RENT - Auburn Host Lions Bldg	12,330.00	0.00	12,330.00	100.0%
48125 · RENT - Sheep Barn	525.00	0.00	525.00	100.0%
48126 · RENT - Cowbells Barn	0.00	0.00	0.00	0.0%
48127 · RENT - Swine Barn	550.00	0.00	550.00	100.0%
48130 · RENT - Small Animal Barn	3,150.00	0.00	3,150.00	100.0%
48135 · RENT - Tahoe Building	5,870.00	0.00	5,870.00	100.0%
48140 · RENT - Sierra	17,701.50	0.00	17,701.50	100.0%
48150 · RENT - Sutter	17,286.28	0.00	17,286.28	100.0%
48160 · RENT - Clubhouse	0.00	0.00	0.00	0.0%
48170 · RENT - Placer	72,025.00	0.00	72,025.00	100.0%
48180 · RENT - Other	0.00	0.00	0.00	0.0%
48190 · RENT - Armory	41,396.05	0.00	41,396.05	100.0%
Total 48100 · Interim Rental - Buildings	236,523.61	0.00	236,523.61	100.0%

Gold Country Fair

Profit & Loss Prev Year Comparison

January through December 2025

	Jan - Dec 25	Jan - Dec 24	\$ Change	% Change
48200 · Interim Rental - Grounds				
48210 · RENT - McCann Stadium	82,919.00	0.00	82,919.00	100.0%
48220 · RENT - FW Park	3,310.00	0.00	3,310.00	100.0%
48230 · RENT - Horse Arena	9,316.00	0.00	9,316.00	100.0%
48240 · RENT - Main Lawn Area & Gazebo	2,790.00	0.00	2,790.00	100.0%
48245 · RENT - Redwood & BullPoint Lawn	0.00	0.00	0.00	0.0%
48255 · RENT - Judging Ring	560.00	0.00	560.00	100.0%
48260 · RENT - Barefoot Wine & Bubbly	930.00	0.00	930.00	100.0%
48262 · RENT - Patio	855.00	0.00	855.00	100.0%
48270 · RENT - RV Parking	12,053.45	0.00	12,053.45	100.0%
48280 · RENT - Ballfields	20,065.25	0.00	20,065.25	100.0%
48285 · High Impact Event	37,700.00	0.00	37,700.00	100.0%
48290 · RENT - Other	2,103.67	0.00	2,103.67	100.0%
48291 · RENT - Sacramento Street Lot	11,000.00	0.00	11,000.00	100.0%
48295 · Non-Exclusive	37,286.00	0.00	37,286.00	100.0%
Total 48200 · Interim Rental - Grounds	220,888.37	0.00	220,888.37	100.0%
48300 · Interim Rental - Equipment/Tent	16,094.00	0.00	16,094.00	100.0%
48400 · Interim Concessions Revenue	0.00	0.00	0.00	0.0%
48500 · Utility Fee Reimbursement	45,048.46	0.00	45,048.46	100.0%
48600 · Interim Parking Revenue	117,095.00	0.00	117,095.00	100.0%
48700 · Other Interim Revenue				
48710 · Labor Reimbursement	2,795.00	0.00	2,795.00	100.0%
48730 · Dumpster Reimbursement	0.00	0.00	0.00	0.0%
48770 · Rebates	2,346.80	0.00	2,346.80	100.0%
48780 · Other	5,490.23	0.00	5,490.23	100.0%
48700 · Other Interim Revenue - Other	61.00	0.00	61.00	100.0%
Total 48700 · Other Interim Revenue	10,693.03	0.00	10,693.03	100.0%
Total 48000 · Interim Rental Revenue	646,342.47	0.00	646,342.47	100.0%
49000 · Prior Year Revenue Adjustment	124.00	0.00	124.00	100.0%
49500 · Other Operating Revenue				
49510 · Interest Earnings	21,066.52	0.00	21,066.52	100.0%
49520 · Donations/Sponsorships	15,191.00	0.00	15,191.00	100.0%
49530 · Crab Table VIP	12,100.00	0.00	12,100.00	100.0%
49500 · Other Operating Revenue - Other	0.00	0.00	0.00	0.0%
Total 49500 · Other Operating Revenue	48,357.52	0.00	48,357.52	100.0%
Total Income	1,357,713.96	0.00	1,357,713.96	100.0%
Gross Profit	1,357,713.96	0.00	1,357,713.96	100.0%
Expense				
50000 · Administrative Expense				
50100 · Salaries - Permanent	224,463.33	0.00	224,463.33	100.0%
50200 · Salaries - Temporary	43,700.16	0.00	43,700.16	100.0%
50300 · Compensated Leave Expense	0.00	0.00	0.00	0.0%
50310 · Employee Benefits	139,022.94	0.00	139,022.94	100.0%
50320 · Payroll Taxes	31,816.21	0.00	31,816.21	100.0%
50330 · Worker's Compensation Insurance	40,882.51	0.00	40,882.51	100.0%
50400 · Professional Services	18,629.80	0.00	18,629.80	100.0%
50500 · Director's Expense	120.12	0.00	120.12	100.0%
50600 · Traveling/Training	123.40	0.00	123.40	100.0%
50700 · Office Supplies & Expense	23,773.46	0.00	23,773.46	100.0%
50800 · Telephone & Postage Expense	2,487.99	0.00	2,487.99	100.0%
50900 · Dues & Subscriptions	16,564.82	0.00	16,564.82	100.0%
51000 · Insurance (General Liability)	42,634.69	0.00	42,634.69	100.0%
51300 · Audit	5,500.00	0.00	5,500.00	100.0%
51500 · Bank Charges	26,663.92	0.00	26,663.92	100.0%
Total 50000 · Administrative Expense	616,383.35	0.00	616,383.35	100.0%

Gold Country Fair

Profit & Loss Prev Year Comparison

January through December 2025

	Jan - Dec 25	Jan - Dec 24	\$ Change	% Change
52000 · Maintenance/General Operations				
52100 · Salaries - Permanent	81,359.09	0.00	81,359.09	100.0%
52200 · Salaries - Temporary	66,536.02	0.00	66,536.02	100.0%
52210 · Employee Benefits	0.00	0.00	0.00	0.0%
52300 · Professional Services	80,044.85	0.00	80,044.85	100.0%
52800 · Light, Heat & Water	227,178.30	0.00	227,178.30	100.0%
52850 · Temp Internet Services	21,182.19	0.00	21,182.19	100.0%
52900 · Maintenance of Equip./Supplies	51,577.38	-8.56	51,585.94	602,639.5%
53000 · Maintenance of Buildings/Ground	40,987.77	0.00	40,987.77	100.0%
53100 · Trash Removal (Non-Fair)	593.94	0.00	593.94	100.0%
53200 · Other Maintenance Expense	3,311.08	0.00	3,311.08	100.0%
Total 52000 · Maintenance/General Operations	572,770.62	-8.56	572,779.18	6,691,345.6%
54000 · Publicity				
54400 · Advertising	39,352.59	0.00	39,352.59	100.0%
Total 54000 · Publicity	39,352.59	0.00	39,352.59	100.0%
56000 · Attendance Operations				
56101 · Salaries - Temporary				
56102 · Ticket Sellers	0.00	0.00	0.00	0.0%
56192 · Concession Auditor	30,163.00	0.00	30,163.00	100.0%
Total 56101 · Salaries - Temporary	30,163.00	0.00	30,163.00	100.0%
56200 · Professional Services	5,222.57	0.00	5,222.57	100.0%
56300 · Supplies & Expense	0.00	0.00	0.00	0.0%
56400 · Other	0.00	0.00	0.00	0.0%
Total 56000 · Attendance Operations	35,385.57	0.00	35,385.57	100.0%
57000 · Misc. Fair Expense				
57100 · Parking Lot (% to contractor)	9,321.25	0.00	9,321.25	100.0%
57700 · Sponsorships	1,000.00	0.00	1,000.00	100.0%
57800 · Other	4,470.19	0.00	4,470.19	100.0%
Total 57000 · Misc. Fair Expense	14,791.44	0.00	14,791.44	100.0%
57005 · Misc. Non-Fair Programs				
57205 · Supplies & Expense	19,831.73	0.00	19,831.73	100.0%
57405 · Sponsorship (non-fair) Expense	0.00	0.00	0.00	0.0%
57515 · Other - Interim Parking Expense	29,272.78	0.00	29,272.78	100.0%
57605 · Professional Services	929.88	0.00	929.88	100.0%
57705 · Advertising	42.90	0.00	42.90	100.0%
Total 57005 · Misc. Non-Fair Programs	50,077.29	0.00	50,077.29	100.0%
58000 · Premiums				
58100 · Cash Awards	1,103.00	0.00	1,103.00	100.0%
58200 · Trophies, Medals, Ribbons	2,121.94	0.00	2,121.94	100.0%
58400 · Sponsored Trophies, Medals	7,177.38	0.00	7,177.38	100.0%
Total 58000 · Premiums	10,402.32	0.00	10,402.32	100.0%
63000 · Exhibits Expense				
63200 · Judges	4,664.00	0.00	4,664.00	100.0%
63300 · Professional Services	5,623.63	0.00	5,623.63	100.0%
63400 · Supplies & Expense	7,341.52	0.00	7,341.52	100.0%
Total 63000 · Exhibits Expense	17,629.15	0.00	17,629.15	100.0%

Gold Country Fair

Profit & Loss Prev Year Comparison

January through December 2025

	Jan - Dec 25	Jan - Dec 24	\$ Change	% Change
66000 · Fair Entertainment Expense				
66200 · Professional Services	69,474.27	0.00	69,474.27	100.0%
66300 · Supplies & Expense	3,120.26	0.00	3,120.26	100.0%
66310 · REIMBURSEMENT FOR ENT. SUPPLI...	0.00	0.00	0.00	0.0%
66500 · Ground Entertainment	90,460.00	0.00	90,460.00	100.0%
66600 · Grandstand Entertainment	28,933.75	0.00	28,933.75	100.0%
66800 · Marketing Promotion	0.00	0.00	0.00	0.0%
Total 66000 · Fair Entertainment Expense	191,988.28	0.00	191,988.28	100.0%
80000 · Prior Year Expense Adjustment	-18,548.20	0.00	-18,548.20	-100.0%
90000 · Depreciation				
91200 · Buildings & Improvements	0.00	0.00	0.00	0.0%
91300 · Equipment	0.00	0.00	0.00	0.0%
Total 90000 · Depreciation	0.00	0.00	0.00	0.0%
Total Expense	1,530,232.41	-8.56	1,530,240.97	17,876,646.9%
Net Ordinary Income	-172,518.45	8.56	-172,527.01	-2,015,502.5%
Other Income/Expense				
Other Income				
31200 · State Allocations	178,000.00	0.00	178,000.00	100.0%
31900 · Capital Project Reimburse Fund	0.00	0.00	0.00	0.0%
47600 · JLA REVENUE				
47650 · JLA - Prior Year Revenue Adjust	4,148.77	0.00	4,148.77	100.0%
47663 · GROSS AUCTION SALES	451,038.24	0.00	451,038.24	100.0%
Total 47600 · JLA REVENUE	455,187.01	0.00	455,187.01	100.0%
Total Other Income	633,187.01	0.00	633,187.01	100.0%
Other Expense				
57600 · JLA				
57610 · Payments to Sellers	399,363.95	0.00	399,363.95	100.0%
57620 · BBQ, Lunch, Dinner	8,382.50	0.00	8,382.50	100.0%
57640 · Supplies & Expense	15,398.76	0.00	15,398.76	100.0%
57680 · Prior Year Exp. Adjustment	-2,055.11	0.00	-2,055.11	-100.0%
57690 · Other	1,220.20	0.00	1,220.20	100.0%
Total 57600 · JLA	422,310.30	0.00	422,310.30	100.0%
96000 · Pension Expense	0.00	205,550.50	-205,550.50	-100.0%
Total Other Expense	422,310.30	205,550.50	216,759.80	105.5%
Net Other Income	210,876.71	-205,550.50	416,427.21	202.6%
Net Income	38,358.26	-205,541.94	243,900.20	118.7%

Gold Country Fair

Profit & Loss Forecast vs. Actual

January through December 2025

	Jan - Dec 25	Forecast	\$ Over Forecast	% of Forecast
Ordinary Income/Expense				
Income				
41000 · Admissions to Grounds				
41010 · Admissions - Regular Gate	213,263.00	250,000.00	-36,737.00	85.3%
Total 41000 · Admissions to Grounds	213,263.00	250,000.00	-36,737.00	85.3%
41500 · Industrial & Commercial Space				
41510 · Inside Commercial Space	23,857.30	22,000.00	1,857.30	108.4%
41520 · Outside Commercial Space	34,782.30	41,000.00	-6,217.70	84.8%
Total 41500 · Industrial & Commercial Space	58,639.60	63,000.00	-4,360.40	93.1%
42000 · Concessions				
42100 · Carnival	101,495.80	105,000.00	-3,504.20	96.7%
42110 · Carnival - Presale	13,500.00	18,000.00	-4,500.00	75.0%
42200 · Food Concessions				
42210 · Food Concessions Health Permit	320.00			
42220 · Food Concessions - Product Fee	116,668.27			
42200 · Food Concessions - Other	0.00	118,000.00	-118,000.00	0.0%
Total 42200 · Food Concessions	116,988.27	118,000.00	-1,011.73	99.1%
Total 42000 · Concessions	231,984.07	241,000.00	-9,015.93	96.3%
43000 · Exhibits				
43100 · Entry Fees	7,628.00	12,000.00	-4,372.00	63.6%
Total 43000 · Exhibits	7,628.00	12,000.00	-4,372.00	63.6%
46000 · Fair Attractions				
46400 · Destruction Derby	28,083.30	26,000.00	2,083.30	108.0%
Total 46000 · Fair Attractions	28,083.30	26,000.00	2,083.30	108.0%
47000 · Misc. Fair Revenue				
47100 · Parking	29,510.00	27,000.00	2,510.00	109.3%
47300 · Utility Fee Reimbursement	3,835.00	3,000.00	835.00	127.8%
47810 · CFSa Insurance	380.00			
47900 · Sponsorships	73,215.00	100,000.00	-26,785.00	73.2%
47000 · Misc. Fair Revenue - Other	1,135.00			
Total 47000 · Misc. Fair Revenue	108,075.00	130,000.00	-21,925.00	83.1%
47005 · Misc. Non Fair Program Revenue				
47105 · Admissions - Crab Feed	15,217.00	24,500.00	-9,283.00	62.1%
Total 47005 · Misc. Non Fair Program Revenue	15,217.00	24,500.00	-9,283.00	62.1%
48000 · Interim Rental Revenue				
48100 · Interim Rental - Buildings				
48110 · RENT - Schools	65,689.78			
48120 · RENT - Auburn Host Lions Bldg	12,330.00			
48125 · RENT - Sheep Barn	525.00			
48127 · RENT - Swine Barn	550.00			
48130 · RENT - Small Animal Barn	3,150.00			
48135 · RENT - Tahoe Building	5,870.00			
48140 · RENT - Sierra	17,701.50			
48150 · RENT - Sutter	17,286.28			
48170 · RENT - Placer	72,025.00			
48190 · RENT - Armory	41,396.05			
48100 · Interim Rental - Buildings - Other	0.00	305,000.00	-305,000.00	0.0%
Total 48100 · Interim Rental - Buildings	236,523.61	305,000.00	-68,476.39	77.5%

Gold Country Fair

Profit & Loss Forecast vs. Actual

January through December 2025

	Jan - Dec 25	Forecast	\$ Over Forecast	% of Forecast
48200 · Interim Rental - Grounds				
48210 · RENT - McCann Stadium	82,919.00			
48220 · RENT - FW Park	3,310.00			
48230 · RENT - Horse Arena	9,316.00			
48240 · RENT - Main Lawn Area & Gazebo	2,790.00			
48255 · RENT - Judging Ring	560.00			
48260 · RENT - Barefoot Wine & Bubbly	930.00			
48262 · RENT - Patio	855.00			
48270 · RENT - RV Parking	12,053.45			
48280 · RENT - Ballfields	20,065.25			
48285 · High Impact Event	37,700.00			
48290 · RENT - Other	2,103.67			
48291 · RENT - Sacramento Street Lot	11,000.00			
48295 · Non-Exclusive	37,286.00			
48200 · Interim Rental - Grounds - Other	0.00	300,000.00	-300,000.00	0.0%
Total 48200 · Interim Rental - Grounds	220,888.37	300,000.00	-79,111.63	73.6%
48300 · Interim Rental - Equipment/Tent	16,094.00	10,000.00	6,094.00	160.9%
48400 · Interim Concessions Revenue	0.00	20,000.00	-20,000.00	0.0%
48500 · Utility Fee Reimbursement	45,048.46	41,000.00	4,048.46	109.9%
48600 · Interim Parking Revenue	117,095.00	150,000.00	-32,905.00	78.1%
48700 · Other Interim Revenue				
48710 · Labor Reimbursement	2,795.00			
48770 · Rebates	2,346.80			
48780 · Other	5,490.23			
48700 · Other Interim Revenue - Other	61.00	14,000.00	-13,939.00	0.4%
Total 48700 · Other Interim Revenue	10,693.03	14,000.00	-3,306.97	76.4%
Total 48000 · Interim Rental Revenue	646,342.47	840,000.00	-193,657.53	76.9%
49000 · Prior Year Revenue Adjustment	124.00			
49500 · Other Operating Revenue				
49510 · Interest Earnings	21,066.52	20,000.00	1,066.52	105.3%
49520 · Donations/Sponsorships	15,191.00	40,000.00	-24,809.00	38.0%
49530 · Crab Table VIP	12,100.00	20,000.00	-7,900.00	60.5%
49500 · Other Operating Revenue - Other	0.00			
Total 49500 · Other Operating Revenue	48,357.52	80,000.00	-31,642.48	60.4%
Total Income	1,357,713.96	1,666,500.00	-308,786.04	81.5%
Gross Profit	1,357,713.96	1,666,500.00	-308,786.04	81.5%
Expense				
50000 · Administrative Expense				
50100 · Salaries - Permanent	224,463.33	244,932.00	-20,468.67	91.6%
50200 · Salaries - Temporary	43,700.16	10,000.00	33,700.16	437.0%
50300 · Compensated Leave Expense	0.00	10,000.00	-10,000.00	0.0%
50310 · Employee Benefits	139,022.94	166,000.00	-26,977.06	83.7%
50320 · Payroll Taxes	31,816.21	24,000.00	7,816.21	132.6%
50330 · Worker's Compensation Insurance	40,882.51	38,000.00	2,882.51	107.6%
50400 · Professional Services	18,629.80	12,000.00	6,629.80	155.2%
50500 · Director's Expense	120.12	2,000.00	-1,879.88	6.0%
50600 · Traveling/Training	123.40	4,000.00	-3,876.60	3.1%
50700 · Office Supplies & Expense	23,773.46	15,000.00	8,773.46	158.5%
50800 · Telephone & Postage Expense	2,487.99	2,500.00	-12.01	99.5%
50900 · Dues & Subscriptions	16,564.82	16,500.00	64.82	100.4%
51000 · Insurance (General Liability)	42,634.69	27,000.00	15,634.69	157.9%
51300 · Audit	5,500.00	10,000.00	-4,500.00	55.0%
51500 · Bank Charges	26,663.92	10,000.00	16,663.92	266.6%
Total 50000 · Administrative Expense	616,383.35	591,932.00	24,451.35	104.1%
52000 · Maintenance/General Operations				
52100 · Salaries - Permanent	81,359.09	83,268.00	-1,908.91	97.7%

Gold Country Fair

Profit & Loss Forecast vs. Actual

January through December 2025

	Jan - Dec 25	Forecast	\$ Over Forecast	% of Forecast
52200 · Salaries - Temporary	66,536.02	75,000.00	-8,463.98	88.7%
52210 · Employee Benefits	0.00			
52300 · Professional Services	80,044.85	30,000.00	50,044.85	266.8%
52800 · Light, Heat & Water				
52820 · Water - Bottled	0.00	18,000.00	-18,000.00	0.0%
52800 · Light, Heat & Water - Other	227,178.30	245,000.00	-17,821.70	92.7%
Total 52800 · Light, Heat & Water	227,178.30	263,000.00	-35,821.70	86.4%
52850 · Temp Internet Services	21,182.19			
52900 · Maintenance of Equip./Supplies	51,577.38	35,000.00	16,577.38	147.4%
53000 · Maintenance of Buildings/Ground	40,987.77	35,000.00	5,987.77	117.1%
53100 · Trash Removal (Non-Fair)	593.94			
53200 · Other Maintenance Expense	3,311.08	6,000.00	-2,688.92	55.2%
Total 52000 · Maintenance/General Operations	572,770.62	527,268.00	45,502.62	108.6%
54000 · Publicity				
54400 · Advertising	39,352.59	35,000.00	4,352.59	112.4%
Total 54000 · Publicity	39,352.59	35,000.00	4,352.59	112.4%
56000 · Attendance Operations				
56101 · Salaries - Temporary				
56192 · Concession Auditor	30,163.00			
56101 · Salaries - Temporary - Other	0.00	30,000.00	-30,000.00	0.0%
Total 56101 · Salaries - Temporary	30,163.00	30,000.00	163.00	100.5%
56200 · Professional Services	5,222.57	5,000.00	222.57	104.5%
56300 · Supplies & Expense	0.00	1,000.00	-1,000.00	0.0%
Total 56000 · Attendance Operations	35,385.57	36,000.00	-614.43	98.3%
57000 · Misc. Fair Expense				
57100 · Parking Lot (% to contractor)	9,321.25	8,000.00	1,321.25	116.5%
57700 · Sponsorships	1,000.00			
57800 · Other	4,470.19	7,000.00	-2,529.81	63.9%
Total 57000 · Misc. Fair Expense	14,791.44	15,000.00	-208.56	98.6%
57005 · Misc. Non-Fair Programs				
57205 · Supplies & Expense	19,831.73	20,000.00	-168.27	99.2%
57515 · Other - Interim Parking Expense	29,272.78	25,000.00	4,272.78	117.1%
57605 · Professional Services	929.88			
57705 · Advertising	42.90	2,000.00	-1,957.10	2.1%
Total 57005 · Misc. Non-Fair Programs	50,077.29	47,000.00	3,077.29	106.5%
58000 · Premiums				
58100 · Cash Awards	1,103.00	6,200.00	-5,097.00	17.8%
58200 · Trophies, Medals, Ribbons	2,121.94	8,000.00	-5,878.06	26.5%
58300 · Sponsored Cash Awards	0.00	8,000.00	-8,000.00	0.0%
58400 · Sponsored Trophies, Medals	7,177.38			
Total 58000 · Premiums	10,402.32	22,200.00	-11,797.68	46.9%
63000 · Exhibits Expense				
63200 · Judges	4,664.00	4,000.00	664.00	116.6%
63300 · Professional Services	5,623.63	3,200.00	2,423.63	175.7%
63400 · Supplies & Expense	7,341.52	1,000.00	6,341.52	734.2%
Total 63000 · Exhibits Expense	17,629.15	8,200.00	9,429.15	215.0%

Gold Country Fair

Profit & Loss Forecast vs. Actual

January through December 2025

	Jan - Dec 25	Forecast	\$ Over Forecast	% of Forecast
66000 · Fair Entertainment Expense				
66200 · Professional Services	69,474.27	75,000.00	-5,525.73	92.6%
66300 · Supplies & Expense	3,120.26	10,000.00	-6,879.74	31.2%
66500 · Ground Entertainment	90,460.00	100,000.00	-9,540.00	90.5%
66600 · Grandstand Entertainment	28,933.75	56,000.00	-27,066.25	51.7%
Total 66000 · Fair Entertainment Expense	191,988.28	241,000.00	-49,011.72	79.7%
80000 · Prior Year Expense Adjustment	-18,548.20			
90000 · Depreciation	0.00	140,000.00	-140,000.00	0.0%
Total Expense	1,530,232.41	1,663,600.00	-133,367.59	92.0%
Net Ordinary Income	-172,518.45	2,900.00	-175,418.45	-5,948.9%
Other Income/Expense				
Other Income				
31200 · State Allocations	178,000.00			
47600 · JLA REVENUE				
47650 · JLA - Prior Year Revenue Adjust	4,148.77			
47663 · GROSS AUCTION SALES	451,038.24			
Total 47600 · JLA REVENUE	455,187.01			
Total Other Income	633,187.01			
Other Expense				
57600 · JLA				
57610 · Payments to Sellers	399,363.95			
57620 · BBQ, Lunch, Dinner	8,382.50			
57640 · Supplies & Expense	15,398.76			
57680 · Prior Year Exp. Adjustment	-2,055.11			
57690 · Other	1,220.20			
Total 57600 · JLA	422,310.30			
Total Other Expense	422,310.30			
Net Other Income	210,876.71			
Net Income	38,358.26	2,900.00	35,458.26	1,322.7%

Gold Country Fair
A/R Aging Summary
As of December 31, 2025

	Current	1 - 30	31 - 60	61 - 90	> 90	TOTAL
AMERICAN LANDSCAPE/CONCRETE (2007 JLA)	0.00	0.00	0.00	0.00	11,450.19	11,450.19
americqn legion	0.00	0.00	0.00	0.00	0.00	0.00
Antrak Charitable Foundations	0.00	0.00	0.00	0.00	0.00	0.00
ANWAR FOROTAN	0.00	0.00	0.00	0.00	625.00	625.00
AUBURN GOLD COUNTRY ROTARY	0.00	0.00	0.00	0.00	0.00	0.00
AUBURN LITTLE LEAGUE	0.00	0.00	0.00	0.00	1,904.00	1,904.00
BERRIES & BANANAS (2003 JLA)	0.00	0.00	0.00	0.00	1,250.50	1,250.50
California Waterfowl Assn.	0.00	0.00	0.00	0.00	0.00	0.00
Carol's Market & Deli	0.00	0.00	0.00	0.00	0.00	0.00
Citlaly Arellano	0.00	0.00	0.00	0.00	0.00	0.00
Cruz Elena Carrasco	0.00	0.00	0.00	0.00	0.00	0.00
DUCKS UNLIMITED	0.00	0.00	0.00	0.00	0.00	0.00
E CLAMPUS VITUS	0.00	0.00	0.00	0.00	0.00	0.00
EZ Events, Inc.	0.00	0.00	0.00	0.00	0.00	0.00
FAST FRIDAYS	0.00	0.00	0.00	0.00	0.00	0.00
FLOMENO. TORRES	0.00	0.00	0.00	0.00	0.00	0.00
Foothill Bird Fanciers	0.00	0.00	0.00	0.00	0.00	0.00
G&G Productions	0.00	0.00	0.00	0.00	0.00	0.00
HORSES HONOR	0.00	0.00	0.00	0.00	0.00	0.00
INDIVISIBLE FESTIVAL	0.00	0.00	0.00	0.00	0.00	0.00
Isaias Benitez Soto	0.00	0.00	0.00	0.00	0.00	0.00
Ivis Cadena	0.00	0.00	0.00	0.00	0.00	0.00
IVONE AMBROZEWICZ	0.00	0.00	0.00	0.00	0.00	0.00
Ka'onohi Foundation	0.00	0.00	0.00	0.00	0.00	0.00
LUIS GARCIA	0.00	0.00	0.00	0.00	0.00	0.00
Natali Lopez	0.00	0.00	0.00	0.00	1,500.00	1,500.00
Native Inc.	0.00	0.00	0.00	0.00	0.00	0.00
NEILS CONTROLLED BLASTING	0.00	0.00	0.00	0.00	0.00	0.00
Norma Puga	0.00	0.00	0.00	0.00	0.00	0.00
ORANGEVALE MEAT SHOPPE (JLA 2011)	0.00	0.00	0.00	0.00	2,973.23	2,973.23
P.I.R.S	0.00	0.00	0.00	0.00	0.00	0.00
PEGGY DONOVAN	0.00	0.00	0.00	0.00	0.00	0.00
PLACER HIGH SCHOOL ALL CLASS REUNION	0.00	0.00	0.00	0.00	0.00	0.00
SIERRA FOOTHILLS FUNERAL SERVICE	0.00	0.00	0.00	0.00	500.00	500.00
SIERRA NATIVE ALLIANCE	0.00	0.00	0.00	0.00	0.00	0.00
Sorayda Maldonada	0.00	0.00	0.00	0.00	0.00	0.00
Stang Productions LLC	0.00	0.00	0.00	0.00	420.00	420.00
Street Eatz	0.00	0.00	0.00	0.00	225.00	225.00
The Happy Dog K9 Training	0.00	0.00	0.00	0.00	0.00	0.00
Theresa Peralta	0.00	0.00	0.00	0.00	0.00	0.00
Thomas Starkweather	0.00	0.00	0.00	0.00	0.00	0.00
TOWNSMEN OF SACRAMENTO	0.00	0.00	0.00	0.00	0.00	0.00

Gold Country Fair
A/R Aging Summary
As of December 31, 2025

	Current	1 - 30	31 - 60	61 - 90	> 90	TOTAL
UNITED AUBURN INDIAN COMMUNITY	0.00	0.00	0.00	0.00	0.00	0.00
WESTERN STATES TRAIL FOUNDATION	0.00	0.00	0.00	0.00	0.00	0.00
WHITEHEAD PAINTING (JLA 2014)	0.00	0.00	0.00	0.00	739.50	739.50
Yuset Gonzalez	0.00	0.00	0.00	0.00	0.00	0.00
TOTAL	0.00	0.00	0.00	0.00	21,587.42	21,587.42

Gold Country Fair YTD Statement of Cash Flows

	Jan - Dec 25
OPERATING ACTIVITIES	
Net Income	38,358.26
Adjustments to reconcile Net Income to net cash provided by operations:	
13100 · Accounts Receivable	2,514.75
22800 · Deferred Income	252,689.05
24110 · Security Deposits	10,018.00
Net cash provided by Operating Activities	303,580.06
INVESTING ACTIVITIES	
19000 · Construction in Progress	(491,622.61)
Net cash provided by Investing Activities	(491,622.61)
Net cash increase for period	(188,042.55)
Cash at beginning of period	629,764.77
Cash at end of period	<u><u>441,722.22</u></u>

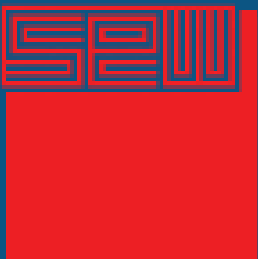
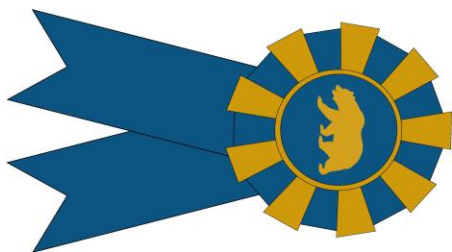
Gold Country Fair
JLA Accounts Receivable Summary
As of December 31, 2025

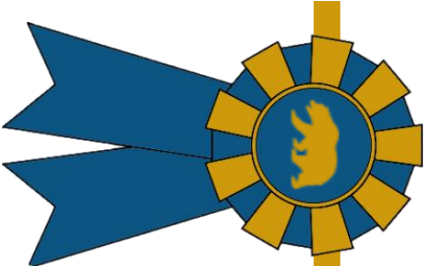
	<u>Dec 31, 25</u>
AMERICAN LANDSCAPE/CONCRETE (2007 JLA)	11,450.19
BERRIES & BANANAS (2003 JLA)	1,250.50
ORANGEVALE MEAT SHOPPE (JLA 2011)	2,973.23
WHITEHEAD PAINTING (JLA 2014)	<u>739.50</u>
TOTAL	<u><u>16,413.42</u></u>

2025 Interim Contracts

Contract	Company	Event Dates	Buildings	Total Contract Amount
25-18	Filomeno Torres	Saturday, October 25, 2025	Placer	\$3,135.00
25-20	Sierra Native Alliance	October 17-19, 2025	Main Stage, Placer, and	\$8,410.00
25-25	Ducks Unlimited	October 17-19, 2025	Sierra	\$2,770.00
25-30	49er Historical Bottle Club	November 6-8, 2025	Placer	\$6,075.00
25-56	Ivone Ambrozewicz	Saturday, November 29, 2025	Armory	\$3,440.00
25-58	PIRS	October 14-15, 2025	Placer	\$3,630.00
25-60	Salvation Army	November 26-27, 2025	Placer and Sierra	\$5,618.00
25-63	Lucky Find Market	November 15-16, 2025	Armory	\$3,440.00
25-66	California Waterfowl Association	Saturday, October 11, 2025	New Swine Barn	\$1,700.00
25-67	Auburn Trading Card Show	Saturday, April 5, 2025	Placer	\$3,135.00
25-69	Placer Jr Hillmen	10/14/2025 and 10/15/2025	Sierra	\$920.00
25-70	MGE Underground	Monday, October 20, 2025	Vendor Lot	\$2604.00 / month
25-71	MGE Underground	Thursday, November 20, 2025	Vendor Lot	\$3,000.00 / month
25-68	Soroptimist of the American River	Wednesday, December 3, 2025	Sierra	\$2,005.00
25-72	Mountain F Enterprises	December 19-21, 2025	AHL, Sierra, Placer, Patio, and McCann	\$14,240.00

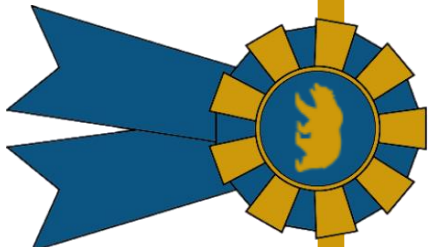
Fairgrounds Resiliency Center - Update
12/9/2025





Agenda

- Project Summary & Status
- Milestone Status
- Critical Issues
- Project Considerations
- Questions & Further Discussion



Project Summary & Status

Scope: Placer Building HVAC Design and Construction

Metrics -

Metric	Nov	Dec	Trend	Comments
Budget	<div></div>	<div></div>	<div></div>	Budget remains adequate
Schedule	<div></div>	<div></div>	<div></div>	The project is on schedule.
Scope	<div></div>	<div></div>	<div></div>	Placer Building plan and scope aligns with allocated budget
Overall	<div></div>	<div></div>	<div></div>	The project is on schedule and budget

Highlights & Lowlights -

Highlight: Design is under OSFM review

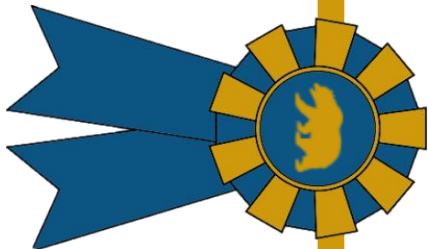
Lowlights: None

Budget -

Category	Value (\$)	Value (%)
Allocated	\$1,111,361.13	100%
• Expended	\$35,400	3.19%
• Encumbered	0.00	0%
Balance Remaining	\$1,075,961.13	96.81%

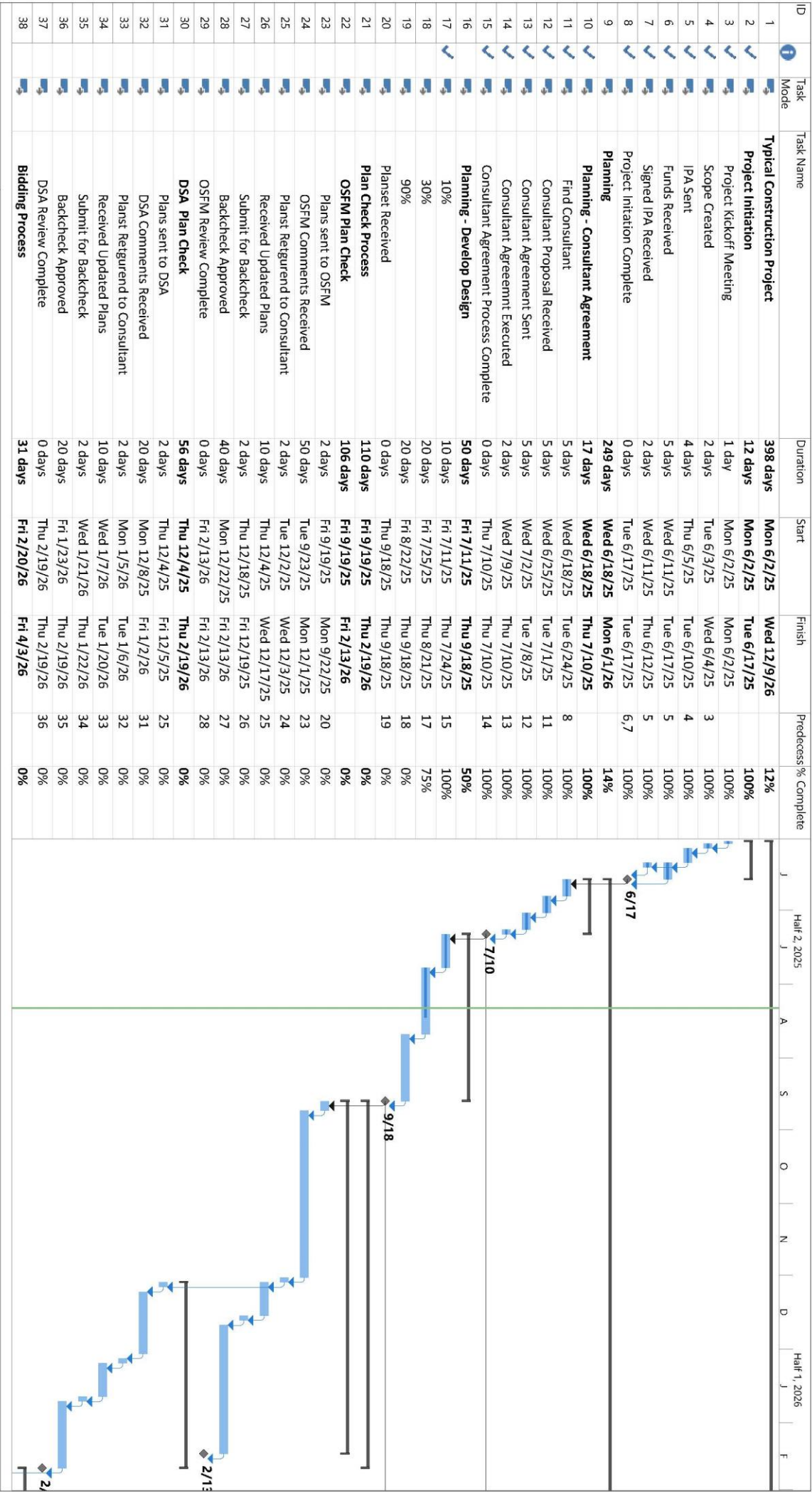
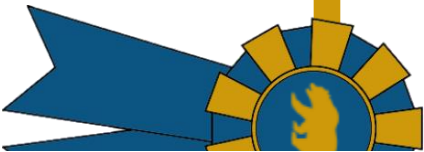
Forward Looking Priorities -

1. Complete Design phase



Project Milestone Status

Milestone	Start Date	End Date	Status	Condition
Scoping, Funding Agreement, and Payment	JUN 25	JUL 25	Completed	On Schedule
Design Development	JUL 25	SEP 25	Completed	On Schedule
Plan Review - OSFM & AHJ's - First Review	SEP 25	FEB 26	In Progress	On Schedule
Bidding & Contracting Administration	FEB 26	MAR 26	Not Started	Not Applicable
Construction (NTP through Completion)	APR 26	OCT 26	Not Started	Not Applicable
Project Closeout & Client Acceptance	NOV 26	DEC 26	Not Started	Not Applicable



Project: Typical Project
Date: Mon 8/11/25

Task

Split

Milestone

Summary

Project Summary

Inactive Task

Inactive Milestone

Inactive Summary

Manual Task

Duration-only

Manual Summary Rollup

Manual Summary

Start-only

Finish-only

External Tasks

External Milestone

Deadline

Progress

Manual Progress



ID	Task Mode	Task Name	Duration	Start	Finish	Predecess % Complete	Half 2, 2025							Half 1, 2026
							J	J	A	S	O	N	D	J
39		Draft Bid Package	2 days	Fri 2/20/26	Mon 2/23/26	36 0%								
40		Advertise Bid	14 days	Tue 2/24/26	Fri 3/13/26	39 0%								
41		Bids Due	8 days	Mon 3/16/26	Wed 3/25/26	40 0%								
42		Bid Processing	5 days	Thu 3/26/26	Wed 4/1/26	41 0%								
43		NOI Sent	2 days	Thu 4/2/26	Fri 4/3/26	42 0%								
44		Bidding Process Complete	0 days	Fri 4/3/26	Fri 4/3/26	43 0%								
45		Contracting Process	41 days	Mon 4/6/26	Mon 6/1/26	44 0%								
46		Receive Submittals	20 days	Mon 4/6/26	Fri 5/1/26	44 0%								
47		Six Point Process	10 days	Mon 5/4/26	Fri 5/15/26	46 0%								
48		Contract Sent to GC	2 days	Mon 5/18/26	Tue 5/19/26	47 0%								
49		GC Signed Contract	2 days	Wed 5/20/26	Thu 5/21/26	48 0%								
50		Contract Executed	2 days	Fri 5/22/26	Mon 5/25/26	49 0%								
51		NTP Sent	5 days	Tue 5/26/26	Mon 6/1/26	50 0%								
52		Contracting Process Complete	0 days	Mon 6/1/26	Mon 6/1/26	51 0%								
53		Planning Process Complete	0 days	Mon 6/1/26	Mon 6/1/26	15,20,44 0%								
54		Execution Phase	122 days	Tue 6/2/26	Wed 11/18/26	0%								
55		Pre Construction Meeting	1 day	Tue 6/2/26	Tue 6/2/26	53 0%								
56		Contractor's Mobilization Date	1 day	Wed 6/3/26	Wed 6/3/26	55 0%								
57		Construction Schedule	120 days	Thu 6/4/26	Wed 11/18/26	56 0%								
58		Intermediate Inspection	0 days	Wed 11/18/26	Wed 11/18/26	57 0%								
59		Final Inspection	0 days	Wed 11/18/26	Wed 11/18/26	58 0%								
60		Closing Phase	15 days	Thu 11/19/26	Wed 12/9/26	0%								
61		Scope Completed	5 days	Thu 11/19/26	Wed 11/25/26	59 0%								
62		Costs Reconciled	5 days	Thu 11/26/26	Wed 12/2/26	61 0%								
63		Project Handoff to Fair	5 days	Thu 12/3/26	Wed 12/9/26	62 0%								
64		Project Closeout	0 days	Wed 12/9/26	Wed 12/9/26	63 0%								

Task

Split Milestone Summary

Project Summary

Inactive Task

Inactive Milestone

Inactive Summary

Manual Task

Duration-only

Manual Summary Rollup

Manual Summary

Start-only

Finish-only

External Tasks

External Milestone

Deadline

Progress

Manual Progress

Task

Split Milestone Summary

Project Summary

Inactive Task

Inactive Milestone

Inactive Summary

Manual Task

Duration-only

Manual Summary Rollup

Manual Summary

Start-only

Finish-only

External Tasks

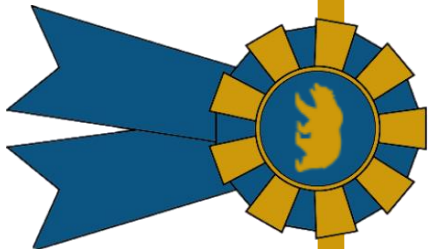
External Milestone

Deadline

Progress

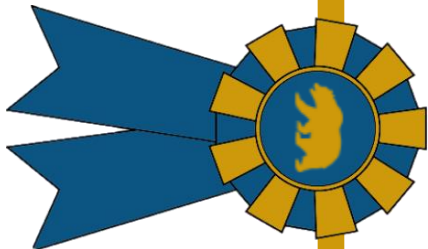
Manual Progress

Project: Typical Project
Date: Mon 8/1/25



Critical Issues

Issue/Risk	Comment/Description	Mitigation	Mitigation Owner	Mitigation Date
None				



Project Considerations

Scheduling -

- Gold Country Fair: September 4th - September 7th , 2025

Change Orders -

- None

Due Outs -

- None

Upcoming Meeting(s) -

- FRC Monthly Update: Jan. 13, 2025

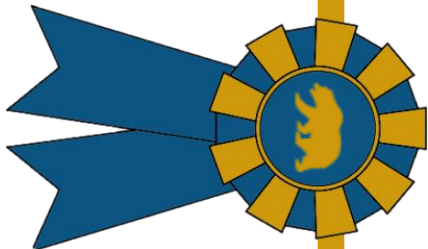
Questions & Further Discussion

43



Appendix





Project Team & Stakeholders

- Fairgrounds Staff
 - Don Ales – Chief Executive Officer
- CCA Staff
 - . – Executive Officer
 - Shah Noor Broomand – Project Manager
 - Jasmeene Heden – Project Coordinator
- Design Staff
 - Edward Mojica – Project Architect
- Stakeholders
 - Fairgrounds Board of Directors
 - Key Fairgrounds Staff



A-103 { 1/8" = 1'-0"

Section A
7

A-103	1/4" = 1'-0"
-------	--------------

SI-MEM 20-M-N-2093

[illegible]

Original Project Issue Date: 08/20/25
Current Sheet Issue Date: 08/20/25



MMS | MUJICA ARCHITECTURE STUDIO
514 OAK STREET
ROSEVILLE | CALIFORNIA 95678
916.783.8277

CCAGOLD COUNTRY FAIR
20th DISTRICT AG ASSOCIATION
**HVAC REPLACEMENT
PLACER BUILDING**

ADDRESS:	1273 High Street
COUNTY:	Albion, CA 95603
ASSESSORS PAGE: NO:	PLACER COUNTY
Project Number	004-120-012-000
Planning Permit:	A250714
Building Permit:	



ARCHITECTURAL ROOF PLAN

A-103

VI

ORIGINAL DRAWING IS 30x42 - DO NOT SCALE CONTENTS OF THIS DRAWING
PRINTED ON: 10/1/2025 7:43:16 AM

SH-21-N-205

Original Project Issue Date: 08/20/25
Current Sheet Issue Date: 08/20/25

MMS | MODICA ARCHITECTURE STUDIO
514 OAK STREET
ROSEVILLE | CALIFORNIA | 95678
916.783.6277

CC&BOLD COUNTRY FARM
20th DISTRICT AG. ASSOCIATION
**HVAC REPLACEMENT
PLACER BUILDING**

ADDRESS:	1273 High Street
COUNTY:	Auburn, CA 95603
ASSESSORS PARCEL NO.:	PLACER COUNTY 004-120-012-000
Project Number:	A250714
Planning Permit:	
Building Permit:	



PLUMBING FLOOR PLAN

P-201

VI

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P-202
EX 1 SURVEY OF 2002 EX 44

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HEAT PUMP CONDENSATE PIPING

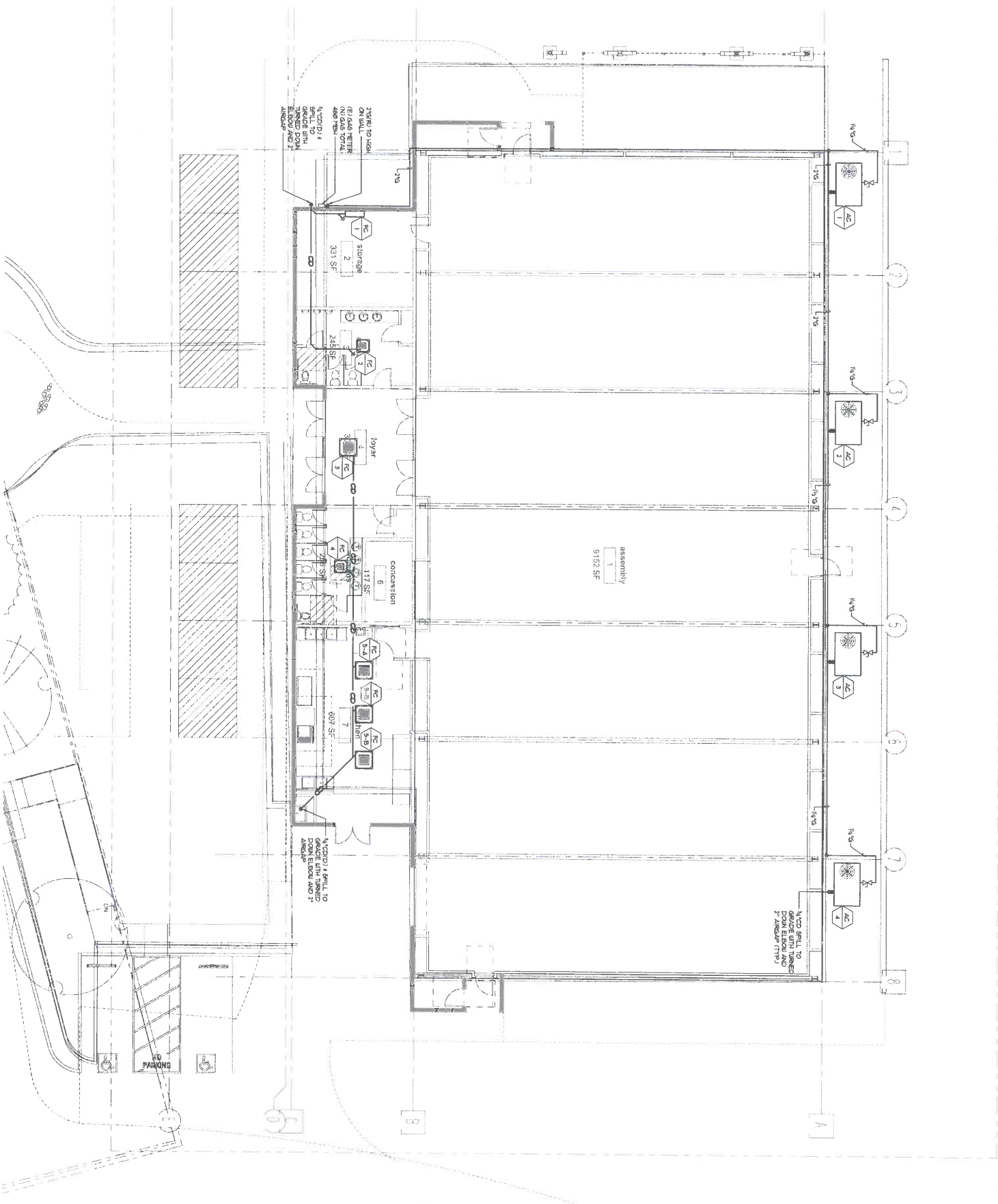
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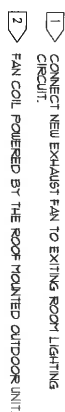
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NATURAL GAS SIZING TABLE	
BASED ON GAS TABLE 724.2(1) NATURAL GAS LESS THAN 2 PSI MAX. PRESSURE 100% F-THE LENGTH 17-7-205	
Pipe Size	Max. LBH (CFT)
1/2"	27
3/4"	57
1"	108
1-1/4"	221
2"	331
	638

PLUMBING FLOOR PLAN

SCALE: 1/8" = 1'-0"





SILVA COST CONSULTING, INC.

1521 Corporate Way, Suite 210
Sacramento, CA 95831

P: 916.444.1130

F: 916.444.1131

Gold Country Fair, Placer Building, HVAC Replacement

Auburn, CA

Construction Document Cost Estimate

October 29, 2025

Prepared for:

California Construction Authority

1776 Tribute Road, Suite 220

Sacramento, CA 95815

SILVA COST CONSULTING, INC.

1521 Corporate Way, Suite 210
Sacramento, CA 95831

P: 916.444.1130
F: 916.444.1131

October 29, 2025

Shah Noor Broomand
California Construction Authority
1776 Tribute Road, Suite 220
Sacramento, CA 95815

Reference: **Gold Country Fair, Placer Building, HVAC Replacement**

Subject: **Construction Document Cost Estimate**

Dear Shah,

Thank you for the opportunity to provide you with this Cost Estimate for the above referenced project. The estimate is broken up into several sections as follows:

The narrative portion, which lists:

- The information used in preparing the estimate
- The estimate qualifications and assumptions
- The exclusions to the estimate

The estimate portion, which contains:

- The Project Summary (which summarizes the estimate items in the estimate)
 - The Estimate Summary (which summarizes the various sections for each item)
 - The Estimate Detail (which lists the line items and unit prices for the estimate)

Once again I would like to thank you for this opportunity to offer my services. Please review the attached estimate and comment. Feel free to call me at 916-444-1130 should you have any questions, comments or concerns. Thank you.

Sincerely,

SILVA COST CONSULTING, INC.

Javier Silva
Principal

ITEMS USED IN PREPARING THE ESTIMATE

Specifications:	None	
Reports:	None	
Civil Drawings:	None	
Landscape Drawings:	None	
Architectural Drawings:	G001, G002, G020, G021, G022, G023, CA-101, AD-001, AD-102, A-101, A-103, A-501	8/20/2025
Structural Drawings:	S1.0, S2.0	8/20/2025
Mechanical Drawings:	M-101, M-201	8/20/2025
Plumbing Drawings:	P-101, P-201, T-24	8/20/2025
Electrical Drawings:	E-101, E-201	8/20/2025

ESTIMATE QUALIFICATIONS

- The project is located in Auburn, CA.
- The estimate was priced using prevailing wage rates.
- We assume the project will be competitively bid with at least 4 contractors.
If the delivery method changes, then this estimate is null and void.
- Start date of construction is assumed to be in the spring of 2020.
- Construction duration is assumed to be 3 months.
- The project will be done in one continuous phase.
- Work areas are to be un-occupied during construction.
- Work to be performed during normal business hours, 8 hours per day, 40 hours per week
- We include a design contingency of 5%.
- The estimate is escalated 3.62%.
- Due to the nature of construction pricing this estimate is deemed to be accurate for a period of 90 days. After 90 days, please contact us to see if the estimate needs a pricing update.

ITEMS SPECIFICALLY EXCLUDED FROM THE ESTIMATE

- Fees for architectural, structural, civil, mechanical, electrical, or other design fees.
- Permit fees, or inspection fees.
- Utility hook up fees.
- Premiums for overtime work.
- Phasing
- Fire Watch
- Off-site work.
- Site improvements and site utilities.
- Hazardous materials abatement
- Seismic retrofitting
- Masonry
- Structural Steel
- Rough Carpentry
- Finish Carpentry
- Doors and Hardware
- Windows
- Specialties
- Equipment
- Furnishings
- Special Construction
- Conveying
- Fire Suppression
- Communications
- Fire Alarm
- Electronic Security
- Items not specifically shown in estimate.

PREFACE TO THE ESTIMATE

The estimate hereunder has been compiled from drawings and specifications (if available) believed to be an accurate portrayal of the project as drawn and indicated by the architect and/or engineers. If said drawings and specifications are incomplete, the project cost engineer has included those items as would usually appear in final drawings and specifications for a complete project in a manner ordinarily prudent under the circumstances. Specialty items unknown to the cost engineer will not normally be included unless communicated through the architect and/or engineer.

The user is cautioned that changes in the scope of the project or the drawings and specifications after the estimate has been submitted can cause cost changes and the cost engineer should be notified for appropriate addenda to be issued to the estimate.

The estimate has also been adjusted for geographical location based on local material and labor rates as well as local construction practice.

Estimates based on a competitive bid situation, involving 4 or more bidders with 4 sub bids per trade, is considered a normalized estimate. Costs may increase or decrease significantly depending on the actual number of bidders. Use the following percentages as a guide:

1 bid	+15% to +40%
2-3 bids	+5% to +15%
4-5 bids	+5% to -5%
6-7 bids	-5% to -15%
7+ bids	-15% or more

PROJECT SUMMARY				
PROJECT:	Gold Country Fair, Placer Building, HVAC Replacement		DATE:	10/29/2025
LEVEL:	Construction Document		ESTIMATOR:	Javier Silva
CLIENT:	California Construction Authority		SCHEDULE:	3 Months
ITEM NO.	ITEM DESCRIPTION	AREA (SF)	ITEM COST	\$/SF
1	Base Bid HVAC		785,129	
2	Add Alternate HVAC		476,632	
3				
	TOTAL CONSTRUCTION COST:		1,261,761	
ALT. NO.	ALTERNATE DESCRIPTION	AREA (SF)	ALT COST	\$/SF
1				
2				
3				
	TOTAL ALTERNATES COST:			

ESTIMATE SUMMARY					
PROJECT:	Gold Country Fair, Placer Building, HVAC Replacement			DATE:	10/29/2025
LEVEL:	Construction Document			ESTIMATOR:	Javier Silva
CLIENT:	California Construction Authority			SCHEDULE:	3 Months
LOCATION:	Auburn, CA			AREA (SF):	9,060
ITEM	DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL AMOUNT
1	Scope of Work - Base Bid				
	Demolition				
	Demolition	9,060	SQ FT	10.00	90,600
					90,600
	Concrete				
	Concrete equipment pad	552	SQ FT	65.25	36,000
					36,000
	Misc Metals				
	Equipment mounting and bracing	4	EA	1,305.00	5,220
					5,220
	Walls-Exterior				
	Repair 24x24 hole in exterior wall	5	EA	1,503.36	7,517
	Demo and reinforce penetration for new ducts - 32x14	4	EA	1,169.28	4,677
	Demo and reinforce penetration for new ducts - 48x24	4	EA	3,006.72	12,027
					24,221
	Roofing				
	Sheet metal cap with insulation at removed mechanical equipment	107	SQ FT	130.50	13,943
	Sealants and caulking	9,057	SQ FT	1.00	9,057
					22,999
	Finishes				
	Patch and repair finishes	9,057	SQ FT	5.00	45,283
					45,283
	Plumbing-Condensate Drain				
	Condensate drain pipe	5	FT	81.56	408
					408
	Plumbing-Gas				
	POC gas meter	1	EA	1,305.00	1,305
	2" gas pipe	138	FT	130.50	18,013
	1.5" gas pipe	40	FT	97.88	3,892
	1.25" gas pipe	103	FT	81.56	8,419
					31,628
	Mechanical-Equipment				
	AC units, 7.5 ton	4	EA	39,150.00	156,600
					156,600
	Mechanical-Distribution and Controls				
	Ductwork, rectangular	78	FT	208.80	16,305
	Ductwork, round, 22"	52	FT	114.84	6,016
	Ductwork, round, 20"	84	FT	104.40	8,809
	Ductwork, round, 16"	106	FT	83.52	8,864
	Refrigerant piping	200	FT	65.25	13,050
	24x8 register	24	EA	501.12	12,027
	48x24 register	4	EA	2,088.00	8,352

ESTIMATE SUMMARY					
PROJECT:	Gold Country Fair, Placer Building, HVAC Replacement			DATE:	10/29/2025
LEVEL:	Construction Document			ESTIMATOR:	Javier Silva
CLIENT:	California Construction Authority			SCHEDULE:	3 Months
LOCATION:	Auburn, CA			AREA (SF):	9,060
ITEM	DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL AMOUNT
	Volume damper	4	EA	195.75	783
	Thermostat	4	EA	913.50	3,654
	CO2 sensor	4	EA	652.50	2,610
	Controls	1	EA	4,800.00	4,800
	Testing, adjusting and balancing	9,057	SQ FT	1.00	9,057
					94,327
	Electrical-Equipment				
	Tap existing bus feeder	1	EA	2,936.25	2,936
	Panel AC	1	EA	14,681.25	14,681
	Panel feeder	10	FT	195.75	1,958
					19,575
	Electrical-Power				
	Power to ac units	4	EA	8,482.50	33,930
	Disconnect switch, wp	4	EA	913.50	3,654
	WP receptacle	4	EA	717.75	2,871
					40,455
	SUBTOTAL				567,317
	GENERAL CONDITIONS			13.2%	74,670
	BONDS & INSURANCE			2.0%	12,840
	OVERHEAD AND PROFIT			10.2%	66,792
	DESIGN CONTINGENCY			5.0%	36,081
	ESCALATION			3.6%	27,429
	TOTAL CONSTRUCTION COST				785,129
				TOTAL \$/SF:	86.66

ESTIMATE SUMMARY					
PROJECT:	Gold Country Fair, Placer Building, HVAC Replacement			DATE:	10/29/2025
LEVEL:	Construction Document			ESTIMATOR:	Javier Silva
CLIENT:	California Construction Authority			SCHEDULE:	3 Months
LOCATION:	Auburn, CA			AREA (SF):	2,182
ITEM	DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL AMOUNT
2	Scope of Work - Add Alternate				
	Demolition				
	Demolition	2,182	SQ FT	10.00	21,820
					21,820
	Misc Metals				
	Equipment mounting and bracing	14	EA	1,305.00	18,270
					18,270
	Roofing				
	Sealants and caulking	2,182	SQ FT	1.00	2,182
					2,182
	Finishes				
	Patch and repair finishes	2,182	SQ FT	5.00	10,910
					10,910
	Plumbing-Condensate Drain				
	Condensate drain pipe	110	FT	81.56	8,972
					8,972
	Mechanical-Equipment				
	Heat pump, .5 ton	1	EA	2,610.00	2,610
	Heat pump, 1.5 ton	2	EA	7,830.00	15,660
	Heat pump 2.5 ton	1	EA	13,050.00	13,050
	Heat pump, 8 ton	1	EA	41,760.00	41,760
	Fan coil units, 500 cfm or less	3	EA	6,525.00	19,575
	Fan coil unit, 880 cfm	1	EA	11,484.00	11,484
	Fan coil unit, 1095 cfm	3	EA	14,289.75	42,869
	Exhaust fan, 300 cfm	2	EA	3,915.00	7,830
					154,838
	Mechanical-Distribution and Controls				
	Ductwork, round, 8"	19	FT	41.76	796
	Ductwork, round, 6"	28	FT	31.32	885
	Refrigerant piping	600	FT	65.25	39,150
	Controls	1	EA	16,800.00	16,800
	Testing, adjusting and balancing	2,182	SQ FT	1.00	2,182
					59,813
	Electrical-Power				
	Power to heat pumps	5	EA	5,220.00	26,100
	Power to fan coils	6	EA	3,915.00	23,490
	Power to exhaust fans	2	EA	2,610.00	5,220
	Disconnect switch, wp	14	EA	913.50	12,789
	WP receptacle		EA	717.75	
					67,599
	SUBTOTAL				344,404
	GENERAL CONDITIONS			13.2%	45,330
	BONDS & INSURANCE			2.0%	7,795
	OVERHEAD AND PROFIT			10.2%	40,548

ESTIMATE SUMMARY					
PROJECT:	Gold Country Fair, Placer Building, HVAC Replacement			DATE:	10/29/2025
LEVEL:	Construction Document			ESTIMATOR:	Javier Silva
CLIENT:	California Construction Authority			SCHEDULE:	3 Months
LOCATION:	Auburn, CA			AREA (SF):	2,182
ITEM	DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL AMOUNT
	DESIGN CONTINGENCY			5.0%	21,904
	ESCALATION			3.6%	16,651
	TOTAL CONSTRUCTION COST				476,632
				TOTAL \$/SF:	218.44

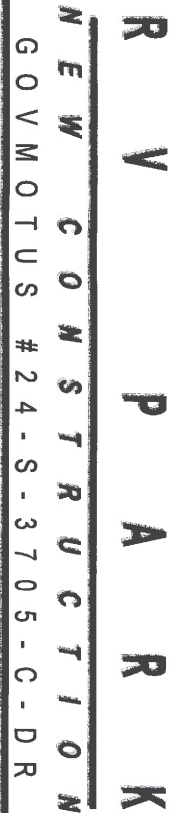
Question regarding the Gold Country RV Park project:

1. When do you think it will happen?
2. What is the available budget for the project?
3. Any site survey (geotechnical, environmental...) has been conducted?
4. What will be the layout and number of RV spaces planned?
5. Will there be amenities such as electrical hook-ups, water hookups, dumping stations, Wi-Fi, etc.?
6. Will there be amenities such as electrical hook-ups, water hookups, dumping stations, Wi-Fi, etc.?
7. Where is the fire hydrant water line and fire line?
8. Do you want to have picnic table?
9. Do you want to have pool?
10. Do you want to have restroom and shower? If yes how many?
11. Do you want to aggregate surface, concrete or asphalt?
12. Can you ask the OSFM to walk the area and provide their comments?
13. How many 120 spaces are 220 AMPS and how many 120 AMPS?

LOCATION MAP

- NO CONSTRUCTION SHALL BE STARTED WITHOUT APPROVED PLANS AND PERMITS. ALL PLANS AND CONSTRUCTION SHALL CONFORM TO THE FOLLOWING:
- 2022 CALIFORNIA BUILDING CODE
 - 2022 CALIFORNIA ELECTRICAL CODE
 - 2022 CALIFORNIA ENERGY CODE
 - 2022 CALIFORNIA FIRE CODE
 - 2022 CALIFORNIA GREEN BUILDING CODE
 - 2022 CALIFORNIA MECHANICAL CODE
 - 2022 CALIFORNIA PLUMBING CODE
- TITLE 24 - CALIFORNIA STATE ENERGY AND ACCESSIBILITY STANDARDS
CURRENT CDD ENGINEERING STANDARDS AND SPECIFICATIONS
CURRENT RECOMMENDATIONS FROM THE SOILS ENGINEER

- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS FOR DIMENSIONS, GRADE, CONFIGURATION AND OTHER ASPECTS OF COMPATIBILITY WITHIN THE WORK OF THESE CONSTRUCTION DOCUMENTS. ANY CONDITIONS WHICH INTERFERE WITH THE WORK SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE WORK SHALL NOT PROCEED IN THE AREAS OF CONFLICT UNTIL SUCH CONFLICTS HAVE BEEN FORMALLY RESOLVED. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER DRAWING SCALE OR PROPORTION.



<p>LOCATION KINGS COUNTY FAIRGROUNDS 801 S. 10TH AVENUE HAINFORD, CA 94320</p>	<p>APN: 016-026-016</p>
<p>BUILDING DATA ZONING: PPF (PUBLIC FACILITIES)</p>	<p>CCA PROJECT NUMBER GOWWOTUS # 24A-24083 24S-3705-C-OR</p>
<p>SCOPE OF WORK:</p> <ul style="list-style-type: none"> • DEMO EXISTING ASPHALT & TREES PER CML • NEW CONCRETE PAVING AND PLANTER • NEW DECOMPOSED GRANITE SURFACE • NEW TRASH ENCLOSURE 	

PROJECT DIRECTORY

LOCATION
KINGS COUNTY FAIRGROUNDS
801 S. 10TH AVENUE
HAINFORD, CA 98250

APN: 016-032-016

CCA PROJECT NUMBER
GVW020TUS #

BUILDING DATA

SCOPE OF WORK:	*PP (PUBLIC FACILITIES)
• DEMO EXISTING ASPHALT & TREES PER CIVIL	
• NEW CONCRETE PAVING AND FLATWORK	
• NEW DECOMPOSED GRANITE SURFACE	
• NEW TRASH ENCLOSURE	
• NEW ELECTRICAL, WINTER & SUMMER FOR EACH IN STALL	
CONSTRUCTION ALTERNATES	
ALPH: CHAMUNGATE @ SOUTH END OF PROPERTY SEE A10	
ALPHZ CANCERIE PAD IN HOLE OF DG FOR PICNIC TABLE IN UNITS 3 - 22 (SEE A.1.)	

PROJECT OWNER
CALIFORNIA CONSTRUCTION AUTHORITY
1718 TRIBUNE ROAD / SACRAMENTO, CA 95815
PHONE : (709)28-0394
SHAH MOOR BROADWAY: shahmoor@caauthority.org

ARCHITECT OF RECORD
GABRIEL ARCHITECTS
530 10TH STREET / PASO ROBLES, CA 93446
OFFICE : (805) 238-9800
LARRY GABRIEL : larry@gabriel-architects.com
JONATHAN BRADY : jonathanbrady@architects.com

CIVIL ENGINEER
LANE ENGINEERING, INC.
979 NORTH BLACKSTONE STREET / TULARE, CA 98274
OFFICE : (559) 886-6293
ARON OLIVER : aron@laneengineers.com

ELECTRICAL ENGINEER
JUNE ELECTRIC ENGINEERING
627 OLIVE ST SANTA BARBARA CA 93101

TS 1.0 TITLE SHEET		TS 1.0 TITLE SHEET + PROJECT DATA	
C - CIVIL			
C0.1	CIVIL COVER SHEET		
C1.1	PARTIAL TOPOGRAPHIC SURVEY		
C1.2	PARTIAL TOPOGRAPHIC SURVEY		
C1.3	PARTIAL TOPOGRAPHIC SURVEY		
C2.1	DEMOLITION PLAN - NORTH		
C2.2	DEMOLITION PLAN - SOUTH		
C3.1	GRADING & DRAINAGE PLAN - NORTH		
C3.2	GRADING & DRAINAGE PLAN - SOUTH		
C4.1	WET UTILITY PLAN - NORTH		
C4.2	WET UTILITY PLAN - SOUTH		
C5.1	PAVING PLAN - NORTH		
C5.2	PAVING PLAN - SOUTH		
C6.1	10TH AVENUE UTILITY CONNECTION PLAN		
C7.1	CIVIL DETAILS		
C7.2	CITY OF HANOVER STANDARD DETAILS		
C8.1	EROSION CONTROL PLAN		
C8.2	EROSION CONTROL DETAILS		
C8.3	EROSION CONTROL DETAILS		
A - ARCHITECTURAL			
A.10	SITE PLAN		
A.11	ENLARGED RV STALLS LAYOUT & RV UTILITY PAD		
A.12	SITE DETAILS		
A.13	SITE DETAILS		
E - ELECTRICAL			
E.10	GENERAL NOTES, SYMBOLS & DETAILS		
E.11	124 POWER CABLE PLANNING FORMS		
E.20	ELECTRICAL SITE PLAN		
E.21	ENLARGED ELECTRICAL STALLS		
E.30	DETAILS		

THE GREAT KING OF THE SEA

A MINIMUM OF 75%, WITH A GOAL TO INCREASE TO 80% OF THE CONSTRUCTION WASTE GENERATED AT THIS SITE IS DIVERTED TO RECYCLE OR SALVAGE, VERIFY WITH LOCAL ORDINANCE.

APN: 016-032-016

AREA:	87,580 SQ. FT.
CUT:	757 CU. YD.
FILL:	50 CU. YD.
NET:	707 CU. YD.

This form shall be scanned to the accompanying fire access plan reflecting all items under consideration, and we signed by the local fire authority. Please complete all applicable items based on scope. California State Fire Marshal project approval may be delayed until this form is completed and returned. If you have any questions, please contact the California State Fire Marshal Plan Review Section at (916) 568-2993.

Approved	Yes	No
Fire Department Access		
Fire Department Connection		
Fire Hydrant		
Fire Alarm Annunciator		
Fire Alarm Control Panel		
Knox Box		
Emergency Responder Radio Coverage		
Medical Emergency Service Elevator		
Fire Service Access Elevator		
Bi-Directional Amplification (BDA) Systems		

- NO HAZARDOUS MATERIALS SHALL BE STORED OR USED WITHIN THE BUILDING WHICH EXCEED THE QUANTITIES LISTED IN CBC TABLES 307.1(1) & 307.1(2). [§ 307.1 CBC]

COMPUTED BY: AAS/STC-CAR



LANE ENGINEERS, INC.
CIVIL / STRUCTURAL • SURVEYING
979 North Blakesome Street
Tulare, California 93274
559.688.5763
www.laneengineers.com

CCA PROJECT: 24A-23-093

THE KINGS FAIR
RV PARK

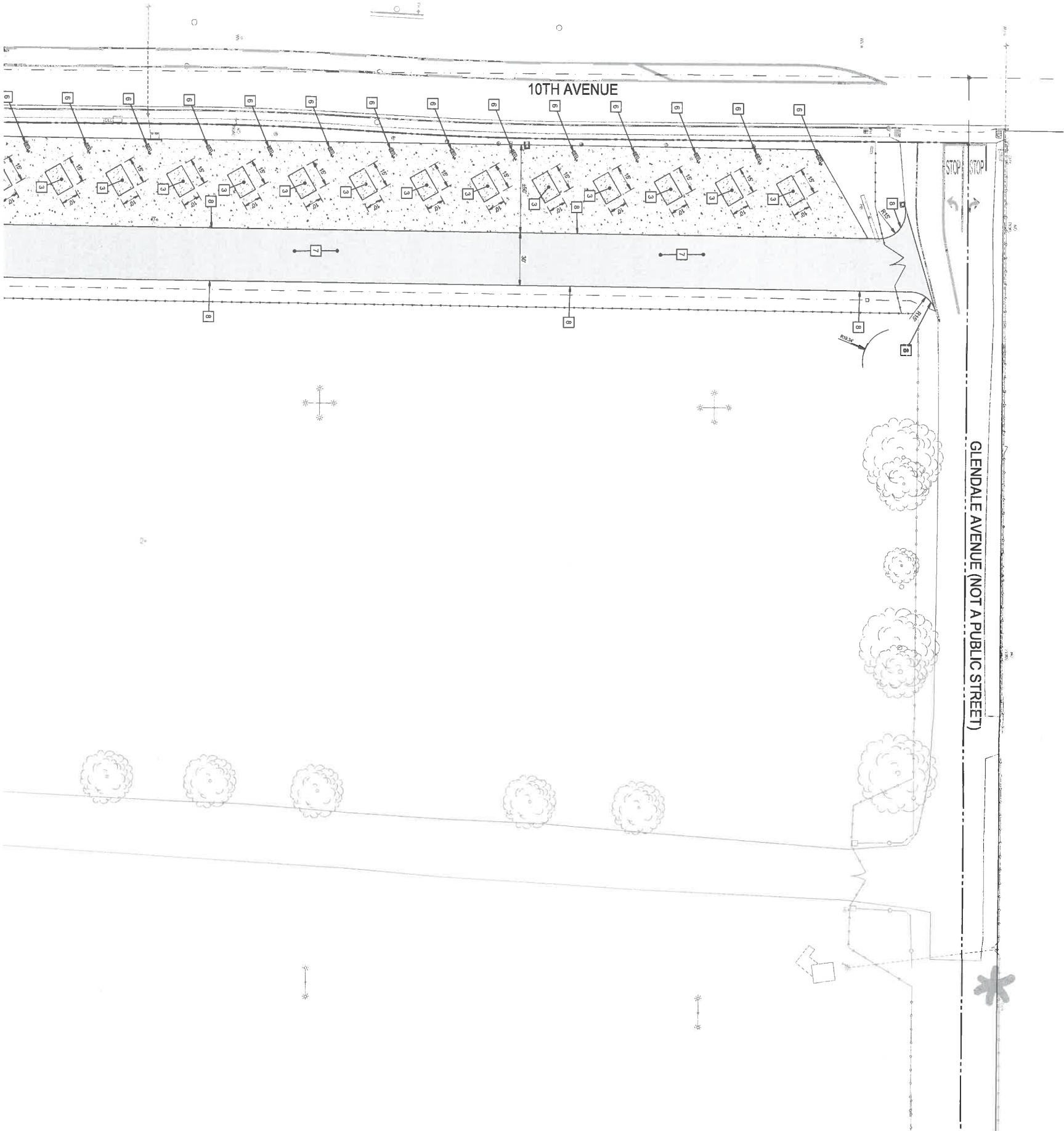


801 S. 10TH AVENUE
HANFORD, CA 93230
APN: 016-032-009 & 016-032-016

NO.	DESCRIPTION	DATE
1	COORDINATION SET	05-10-2024
2	SUBMITTAL SET	09-17-2024
3	POI RESIDENTIAL SET	11-27-2024
4	POI RESIDENTIAL SET	06-12-2025
5	OSM RESIDENTIAL	04-02-2025

PAWING PLAN - NORTH

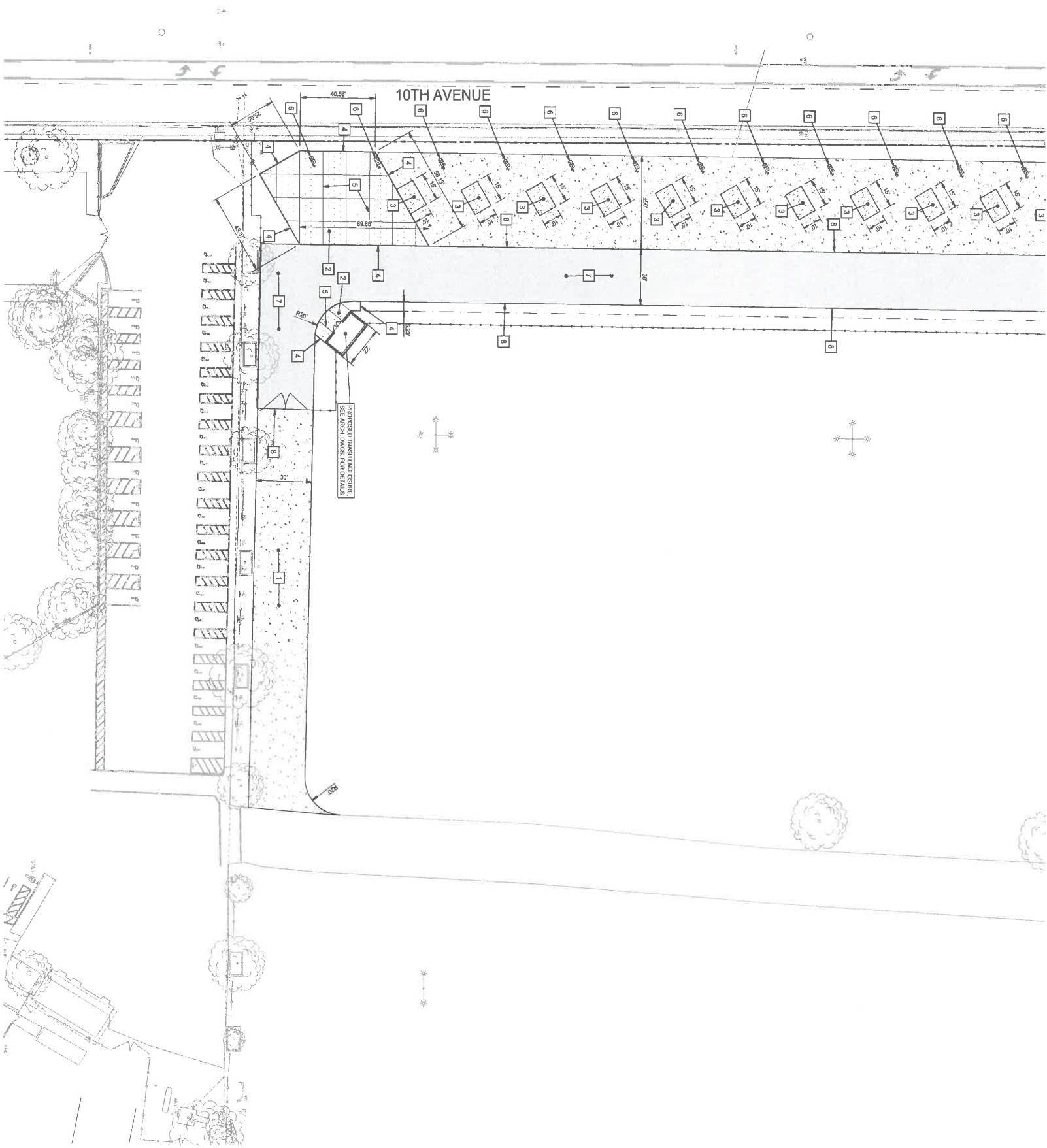
C5.1



CONTINUED ON SHEET C5.2



CONTINUED ON SHEET C5.1



NOTES

(SHEETS C5.1 & C5.2 ONLY)

1. REFER TO SHEETS C5.1 FOR REMARKS, GENERAL NOTES & INFORMATION.
2. REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL SITE INFORMATION AND DETAILS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR PLACING THE TYPE OF JOINTS AS NOTED. CONTRACTOR SHALL BE RESPONSIBLE FOR PLACING THE TYPE OF JOINTS AS NOTED. CONTRACTOR SHALL BE RESPONSIBLE FOR PLACING THE TYPE OF JOINTS AS NOTED. CONTRACTOR SHALL BE RESPONSIBLE FOR PLACING THE TYPE OF JOINTS AS NOTED.
4. MAXIMUM JOINT SPACING GENERALLY SHOULD NOT EXCEED 15 FEET FOR CONCRETE PAVEMENT THICKNESS 8" OR GREATER.
5. THE LENGTH OF A PANEL GENERALLY SHOULD NOT BE MORE THAN 25% GREATER THAN ITS WIDTH.
6. JOINTS SHALL BE PLACED IN A SQUARE PATTERN AS MUCH AS IS FEASIBLE OR PRACTICAL. ACUTE ANGLES SHOULD BE AVOIDED.
7. CONTRACTION JOINTS SHALL BE SAWN USING FRESH CEMENT SANDS AND SHALL BE CUT AS SOON AS THE CONCRETE PAVEMENT CAN SUPPORT THE WEIGHT OF A LAWN AND A SAW.
8. CONCRETE POURS SHALL BE PROPERLY PLANNED SUCH THAT PAVING OPERATIONS ARE TERMINATED AT THE END OF THE DAY TO CONCLUDE WITH PLANNED JOINT LOCATIONS.
9. SETTING WITH A MAXIMUM SPACING OF ROUGHLY 30 TIMES THE THICKNESS OF THE PAVEMENT SHALL BE MAINTAINED. THE RATIO OF THE THICKNESS OF RECTANGULAR JOINTS SHALL NOT EXCEED 1:3:1.
10. WHERE ASPHALT MEETS CONCRETE, THE ASPHALT SHALL BE 2" HIGHER THAN THE ADJOINING CONCRETE PAVEMENT.

CONSTRUCTION KEYNOTES

(SHEETS C5.1 & C5.2 ONLY)

1. DECOMPOSED GRANITE SURFACE, SEE DETAIL 11-C7.1
2. CONCRETE PAVEMENT, SEE DETAIL 11-C7.1
3. CONCRETE PAVEMENT FOR POC-BENCH, SEE DETAIL 11-C7.1
4. THICKENED EDGE, SEE DETAIL 11-C7.1
5. CONTRACTION OR CONSTRUCTION JOINT, SEE DETAIL 11-C7.1 AND DETAIL 11-C7.1
6. CONCRETE UTILITY PAD AND PRE-ROLLED, SEE ANCH. DWGS.
7. 3" A.C. 1" CLASS 2 A.B. 1/2" COMPACTED SUBGRADE, SEE DETAIL 11-C7.2
8. PAVEMENT CHOKER, SEE DETAIL 11-C7.2

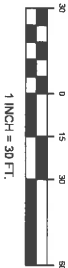
LEGEND

- PROPERTY BOUNDARY
- SECTION LINE
- CONCRETE PAVEMENT
- DECOMPOSED GRANITE SURFACE
- CONCRETE PAVEMENT
- ASPHALT CONCRETE PAVEMENT

NORTH



GRAPHIC SCALE



GABRIEL ARCHITECTS



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THE KINGS FAIR
RV PARK



801 S. 10TH AVENUE
HANFORD, CA 93230
APN: 016-022-009 & 016-022-016

CCA PROJECT: 24A-23-093

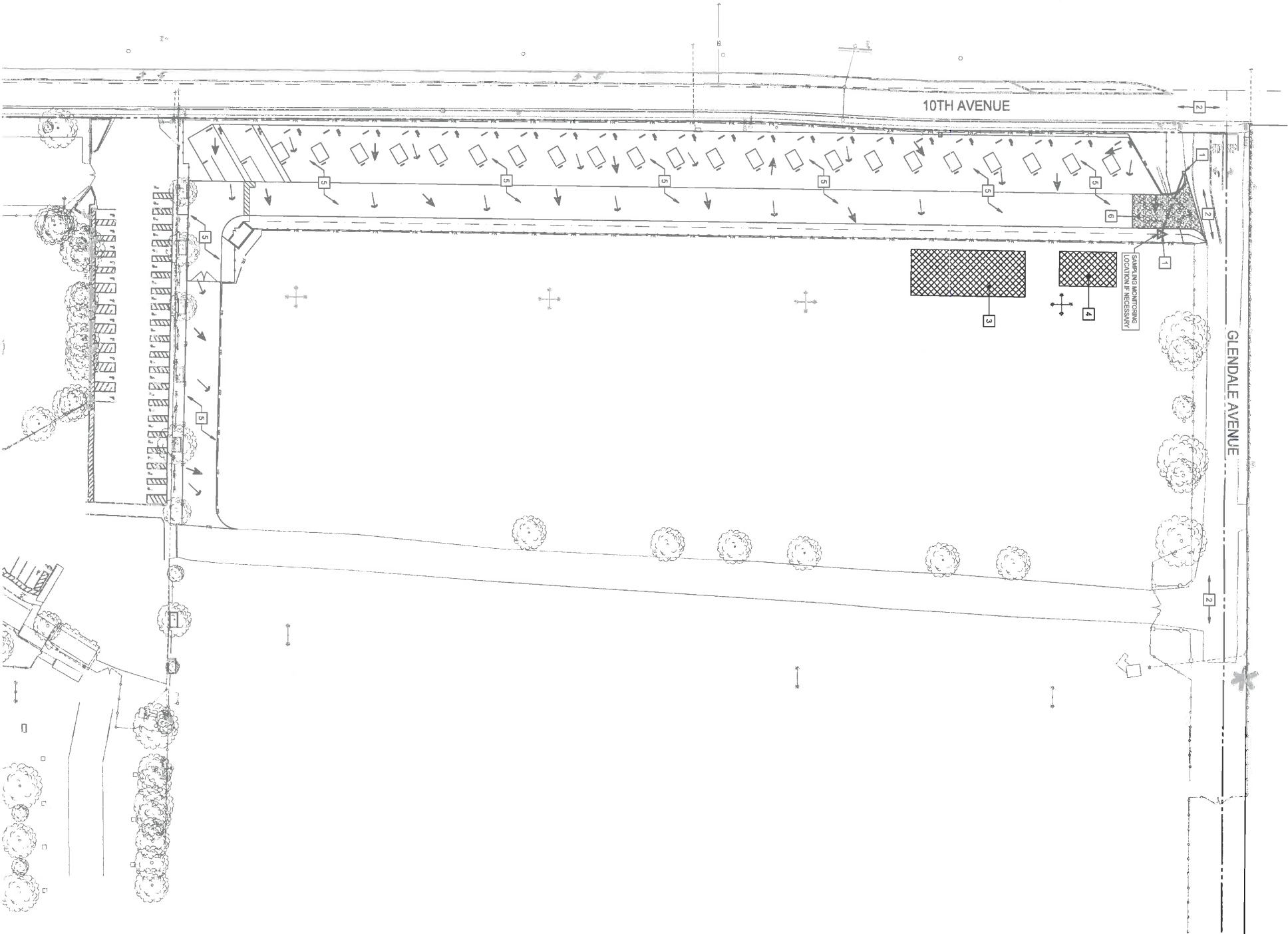
#	DESCRIPTION	DATE
1	CONSTRUCTION SET	09-10-2024
2	SUBMITTAL SET	09-11-2024
3	POD1 RESUBMITTAL SET	11-27-2024
4	POD2 RESUBMITTAL SET	02-12-2025
5	FINAL RESUBMITTAL	04-02-2025

PAVING PLAN - SOUTH

C5.2

V2













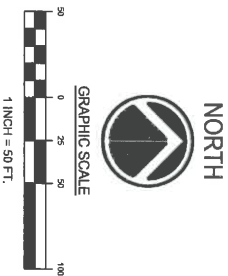
- ## NOTES
- (THIS SECTION)
1. PORTABLE TOILETS SHALL BE MANAGED IN ACCORDANCE WITH WMA-16. THE CSDP CAN UPDATING TOILET LOCATIONS IN ACCORDANCE ON THIS PLAN.
 2. A MINIMUM OF 15' SHALL BE LOCATED ON THE RITE TO CLEAN UP SPILLS CONTAINING OIL, GREASE, AND OTHER LIQUIDS. THE CSDP WILL BE RESPONSIBLE FOR EQUIPMENT AND MATERIALS FOR CLEANUP.
 3. ALL WMS NOTED ABOVE SUCH AS WMS-1, REFERENCED THE SHEETS FROM THE CSDA, STORMWATER AND HANDBOOK.
 4. SLIT FENCES, FIBER ROLLS, AND STRAW MATS MAY BE USED INTERCHANGEABLE.
 5. INSTALLATION OF WMS SUCH AS FIBER ROLLS AND THE CONSTRUCTION ENTRANCE MAY BE DERIVED WITH RIGID GRADING IS COMPLETE.

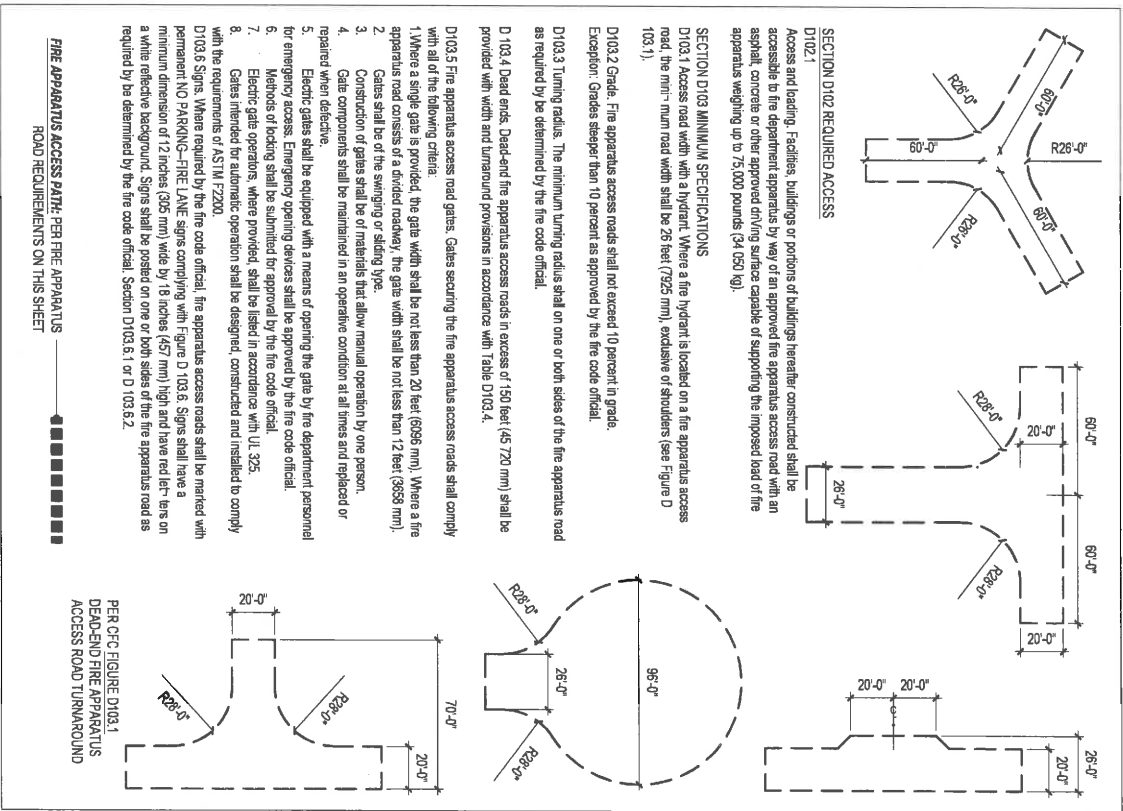
KEYNOTES:

1. STORM DRAIN NET PROTECTION. SEE DETAIL 1002.3A.
2. USE MANUAL, WEDGED ON STREET SIDEWALK AND ADJACENT TO WIDENING OF DRIVEWAY OR DRIVEWAY ENTRANCE TO PREVENT EXCESSIVE TRAFFIC FROM EXCEEDING 5 FEET IN WIDTH.
3. CONTRACTOR TO DEMONSTRATE PROPER KICK-UP EQUIPMENT, MATERIALS AND CONSTRUCTION PRACTICES. SEE BIDDING MAP 12.1.4. CONTRACTOR SHALL CONSIDER THE FOLLOWING: A. THE PROPOSED KICK-UP SYSTEM, INCLUDING THE CONCRETE WALK-OUT AND COLLECTION SYSTEM TO BE CONSTRUCTED BY SYSTEMS, INC. OR APPROVED EQUIVA. CONTRACTOR MAY ALSO CONSTRUCT THIS WALK-OUT, SEE DETAIL 1002.3B. B. THE PROPOSED KICK-UP SYSTEM TO BE CONSTRUCTED BY THE USER, SEE DETAIL 1002.3C. C. THE PROPOSED KICK-UP SYSTEM TO BE NECESSARY TO INSTALL CONCRETE WALK-OUTS WITH A TRUCK AND BE SELF-CONTAINED AND CAPABLE OF WASHING OUT AND TRIMMING.
4. DRIVING WAS RECORDING ACTIVITIES WITHIN THE SITE AS NECESSARY TO IDENTIFY AND LOCATE ALL EXISTING UTILITIES. CONTRACTOR SHALL MARK ALL UTILITIES AND ALL EXISTING UTILITIES SHALL BE PROTECTED AND MAINTAINED. CONTRACTOR SHALL PROTECT EXISTING UTILITIES, PEAK STOPS, UTILITY BARRIERS, AND CONNECTED LOTS THAT ARE NOT SCHEDULED TO BE REDEVELOPED AND CONVEYED TO THE USER. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL UTILITIES AND PEAK STOPS, UTILITY BARRIERS, AND A. METHOD USED SHALL BE THE PRESCRIPTION OF THE CITY SPEC. 1002.3D.
5. INSTANT SCHEDULED CONSTRUCTION PERIODS: 10/27/2024 - 10/28/2024, 10/29/2024 - 10/30/2024. DAILY PERMIT DURATION: 10/27/2024 - 10/28/2024. USE 3"X4" DIAMETER CROWTS 10/27/2024. SEE DETAIL 1002.3.

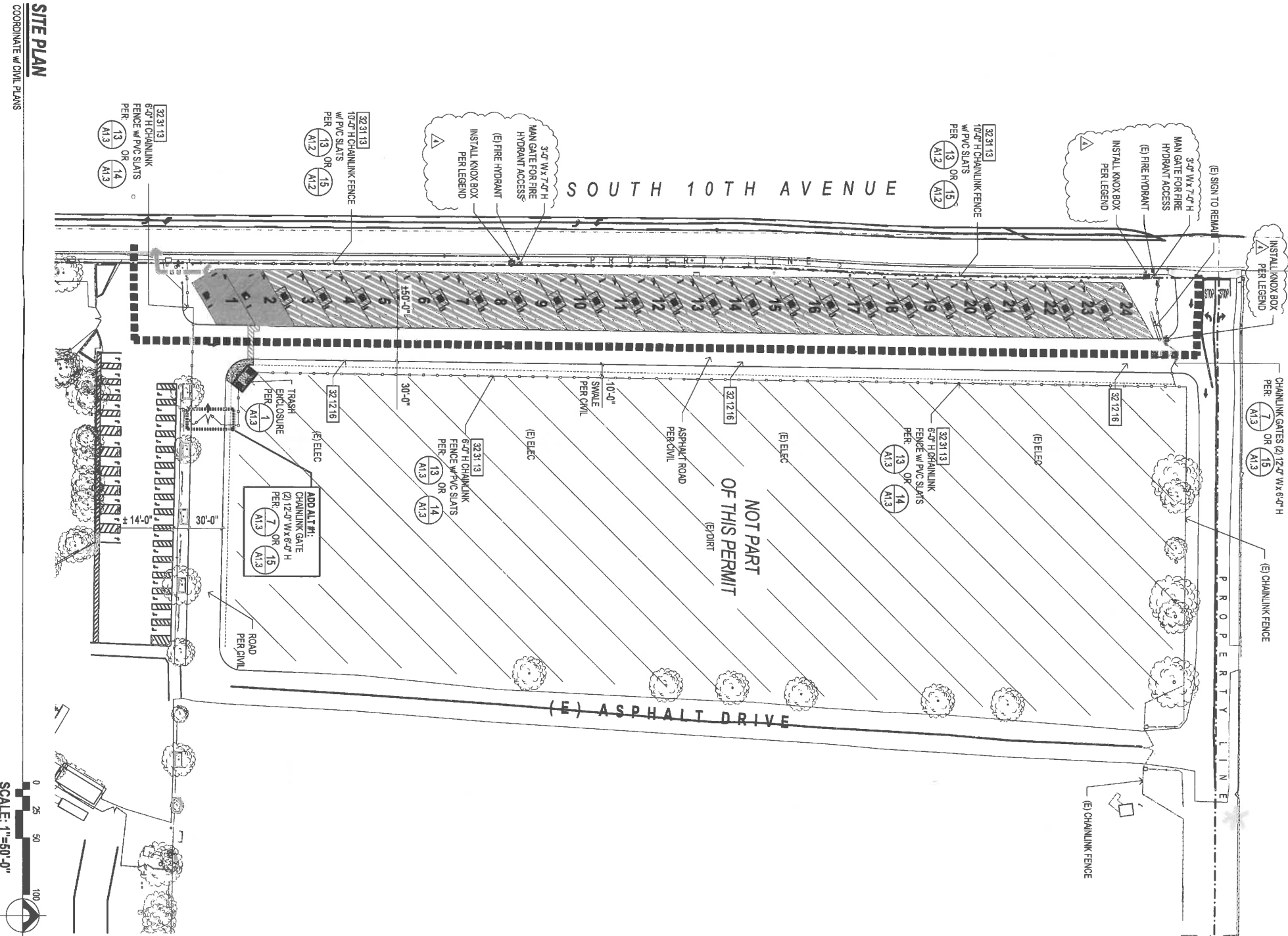
LEGEND

-  FIBER ROLL PER SEC. 5
 SILT FENCE PER SEC. 1
 STORM DRAIN PIPE
 PROPOSED DRAINAGE
 EXISTING DRAINAGE
 PROJECT BOUNDARY
 SAMPLING/MONITORING LOCATION
 NON-VISIBLE POLLUTANT SPILL





FIRE APPARATUS ACCESS ROAD REQUIREMENTS






LEGEND

ACCESSIBLE PATH OF TRAVEL
PROVIDE 1/20 MAX. SLOPE IN
DIRECTION OF TRAVEL.
AND 1/48 MAX. CROSS-SLOPE
WHERE PATH OF TRAVEL
OCCURS

TYPE A
CONCRETE STALLS (SEE A.1.1)
UNITS 1-2
2 SPACES TOTAL

TYPE B
REGULAR STALLS (SEE A.1.1)
UNITS 3-24
22 SPACES TOTAL

 TYPE A
 TYPE B

 KNOX BOX
MOUNT 14" x 6" FLOOR FINISH FLOOR
TO CENTER OF BOX

GENERAL NOTES

1. WALKS AND SIDEWALKS SHALL BE A MINIMUM OF 4' CLEAR IN WIDTH AND HAVE A CONTINUOUS SMOOTH SURFACE NOT INTERRUPTED BY STOPS OR BY ABRUPT CHANGES IN LEVEL EXCEED 1/4" IN HEIGHT.
2. WHEN ABRUPT CHANGES IN LEVEL EXCEEDING 1/4" OCCUR, THEY SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 12°. EXCEPT THAT CHANGES NOT EXCEEDING 1/4" MAY BE VERTICAL.
3. OBSTRUCTIONS OVERHANGING WALKWAYS SHALL BE AT LEAST 8" CLEAR ABOVE THE WALKING SURFACE. OBSTRUCTIONS SHALL NOT REDUCE THE WALK CLEAR WIDTH BY MORE THAN 12".
4. PARKING SPACES, ACCESS AISLES, AND VEHICULAR ROUTES SERVING THEM SHALL PROVIDE A VERTICAL CLEARANCE OF 36" MINIMUM.
5. ALL ACCESSIBLE AREAS, PEDESTRIAN WALKS AND SIDEWALKS SHALL BE SLIP-RESISTANT AND NOT ACCUMULATE WATER.

CONSTRUCTION NOTES

- | | | | |
|----|----|---------------------|--|
| 01 | 02 | EXISTING CONDITIONS | 02 01 01 DEMO EXISTING WOOD AND STEEL |
| 01 | 03 | EXISTING CONDITIONS | FENCES AND GATES. PATCH AS |
| 01 | 03 | EXISTING CONDITIONS | NEEDED PER PLAN NOTES. |
| 01 | 03 | EXISTING CONDITIONS | DO NOT DEMO EXISTING SIGMA |
| 01 | 03 | EXISTING CONDITIONS | COORDINATE ALL DEMOLITION |
| 01 | 03 | EXISTING CONDITIONS | WITH OWNER OR OWNER |
| 01 | 03 | EXISTING CONDITIONS | REPRESENTATIVE. |
| 01 | 03 | CONCRETE | 03 00 00 CAST-IN-PLACE CONCRETE |
| 01 | 03 | CONCRETE | FLATWORK WITH 4" DEEPS TYPICAL |
| 01 | 03 | CONCRETE | HIGH ROCK-SOFT OR BRUSHED |
| 01 | 03 | CONCRETE | PER CIVIL |
| 01 | 22 | PLUMBING | 02 22 00 SETTING PLUMBING SHEETS |
| 01 | 28 | ELECTRICAL | 06 00 00 SET ELECTRICAL SHEETS |
| 01 | 28 | ELECTRICAL | 02 12 16 ASPHALT CONCRETE PAVING |
| 01 | 28 | ELECTRICAL | PAYMENTS. 750'-10.3" MIN. A.C. |
| 01 | 28 | ELECTRICAL | PAYMENT THICKNESS. |
| 01 | 28 | ELECTRICAL | BASE. 1" AGGREGATE, 4" THICKNESS |
| 01 | 28 | ELECTRICAL | 1/2" C-CLASSI. AFG BASE. |
| 01 | 28 | ELECTRICAL | COMPACTED TO 95% (SEE CIVIL |
| 01 | 28 | ELECTRICAL | SHEETS) AND SPECIFICATIONS |
| 01 | 33 | UTILITIES | 02 32 31 3 CHAIN LINK FENCES AND GATES |
| 01 | 33 | UTILITIES | PER |
| 01 | 33 | UTILITIES | DETAILS. (13.15) (13.14) (7.15) |
| 01 | 33 | UTILITIES | (A12) (A13) (A13) |
| 01 | 33 | UTILITIES | COORD. W/ CIVIL SHEETS |
| 01 | 33 | UTILITIES | 03 00 00 SET CIVIL SITE UTILITY PLAN AND |
| 01 | 33 | UTILITIES | COORDINATE WITH ENTIRE PLAN |
| 01 | 33 | UTILITIES | SET. |

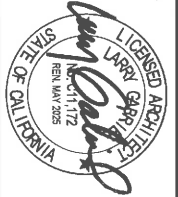
PROJECT NUMBER		23-400.03	
NO.	DESCRIPTION	DATE	
△	CONCRETE SET	09-16-2024	△
△	SUBMITAL SET	09-17-2024	△
△	POD RESUBMITAL SET	11-27-2024	△
△	POD RESUBMITAL SET	02-17-2025	△
△	BID SET	02-06-2025	△
△			△
△			△

801 S. 10TH AVENUE
HANFORD, CA 93230
APN : 016-032-016



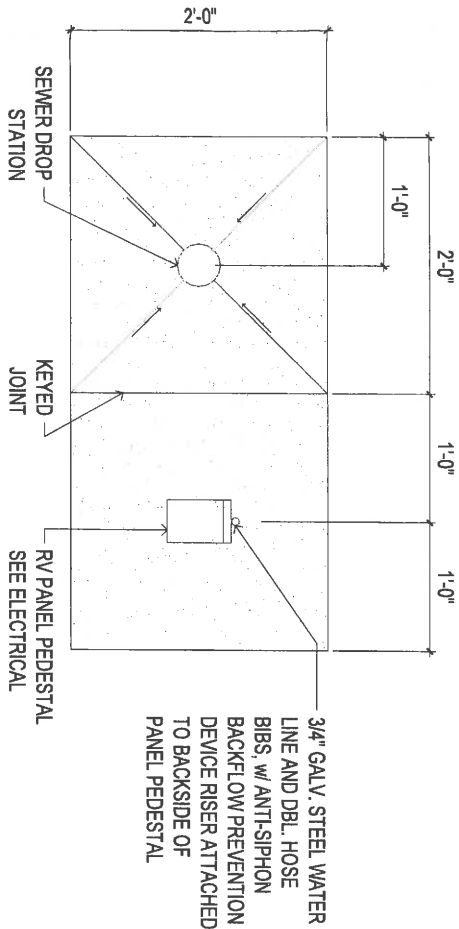
CCA PROJECT: 24A-23-093

**THE KINGS FAIR
RV PARK**



GOVMOTUS # 24-S-3705-C-DR
GABRIEL-ARCHITECTS.COM





0 1 2

SCALE: 1/4" = 1'-0"

RV UTILITY PAD PLAN

SEE SECTION 3 / A1.2

0 1 2

SCALE: 1/4" = 1'-0"

GENERAL NOTES

1. WALKS AND SIDEWALKS SHALL BE A MINIMUM OF 48" CLEAR IN WIDTH AND HAVE A CONTINUOUS COMMON SURFACE NOT INTERRUPTED BY STEPS OR BY ABRUPT CHANGES IN LEVEL EXCEED 1/4" IN HEIGHT.
2. WHEN ABRUPT CHANGES IN LEVEL EXCEEDING 1/4" OCCUR, THEY SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2, EXCEPT THAT CHANGES NOT EXCEEDING 1/4" MAY BE VERTICAL.
3. OBSTRUCTIONS OVERHANGING WALKWAYS SHALL BE AT LEAST 90" CLEAR ABOVE THE WALKING SURFACE. OBSTRUCTIONS SHALL NOT REDUCE THE WALK CLEAR WIDTH BY MORE THAN 12".
4. PARKING SPACES, ACCESS AISLES, AND VERTICAL ROUTES SERVING THEM SHALL PROVIDE A VERTICAL CLEARANCE OF 98" MINIMUM.
5. ALL ACCESSIBLE AREAS, PEDESTRIAN WALKS AND SIDEWALKS SHALL BE SLIP-RESISTANT AND NOT ACCUMULATE WATER.

CONSTRUCTION NOTES

- DIV 02 EXISTING CONDITIONS
- 02 41 01 DEMO EXISTING WOOD AND STEEL FENCES AND GATES. PATCH AS NEEDED PER PLAN NOTES. DO NOT DEMO EXISTING SIGNAGE. COORDINATE ALL DEMOLITION WITH OWNER OR OWNER REPRESENTATIVE.
- DIV 03 CONCRETE
- 03 30 00 CAST IN-PLACE CONCRETE. FINISH WITH SLIP-RESISTANT HIGH-ROCK-SALT OR BRUSHED PER CIVIL.

- DIV 22 PLUMBING
- 22 00 00 SEE PLUMBING SHEETS
- DIV 25 ELECTRICAL
- 25 00 00 SEE ELECTRICAL SHEETS

- DIV 42 EXTERIOR IMPROVEMENTS
- 42 12 16 ASPHALT CONCRETE PAVING AREAS. PG20-10, 3" MIN. A.C. PAVEMENT THICKNESS. 1 1/2" AGGREGATE, 4" THICKNESS BASE, CLASS II AGG BASE, COMPACTED TO 98% (SEE CIVIL SHEETS AND SPECIFICATIONS)

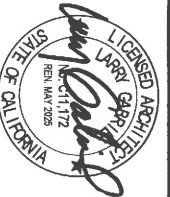
- 32 31 13 CHAIN LINK FENCES AND GATES
- PER (13.15 / 13.14 / 7.15) DETAILS (A1.2 / A1.3 / A1.3)
- COORD w/ CIVIL SHEETS

- DIV 43 UTILITIES
- 43 00 00 SEE CIVIL SITE UTILITY PLAN AND COORDINATE WITH ENTIRE PLAN SET.



GABRIEL ARCHITECTS, COM

PAID DUBLES OFFICE
530 0TH STREET
PASO ROBLES, CA 94646
805.235.8800



CCA PROJECT: 24A-23-093

THE KINGS FAIR
RV PARK

801 S. 10TH AVENUE
HANFORD, CA 93230
APN: 016-002-2016

PROJECT NUMBER	23-400.03
DATE	DATE
COORDINATION SET	08-10-2024
SUBMITTAL SET	08-17-2024
FOR RESUBMITTAL SET	11-07-2024
FOR RESUBMITTAL SET	01-13-2025
RED SET SET	05-05-2025
DATE	DATE
EA	LG

ENLARGED RV
STALLS LAYOUT
& RV UTILITY PAD
SET.

A1.1





PMIA/LAIF Performance Report as of 01/15/26



Quarterly Performance Quarter Ended 9/30/25

LAIF Apportionment Rate ⁽²⁾ :	4.34
LAIF Earnings Ratio ⁽²⁾ :	0.00011893333163814
LAIF Administrative Cost ^{(1)*} :	0.26
LAIF Fair Value Factor ⁽¹⁾ :	1.001929581
PMIA Daily ⁽¹⁾ :	4.19
PMIA Quarter to Date ⁽¹⁾ :	4.24
PMIA Average Life ⁽¹⁾ :	254

PMIA Average Monthly Effective Yields⁽¹⁾

December	4.025
November	4.096
October	4.150
September	4.212
August	4.251
July	4.258

Pooled Money Investment Account Monthly Portfolio Composition ⁽¹⁾ 12/31/25 \$162.6 billion

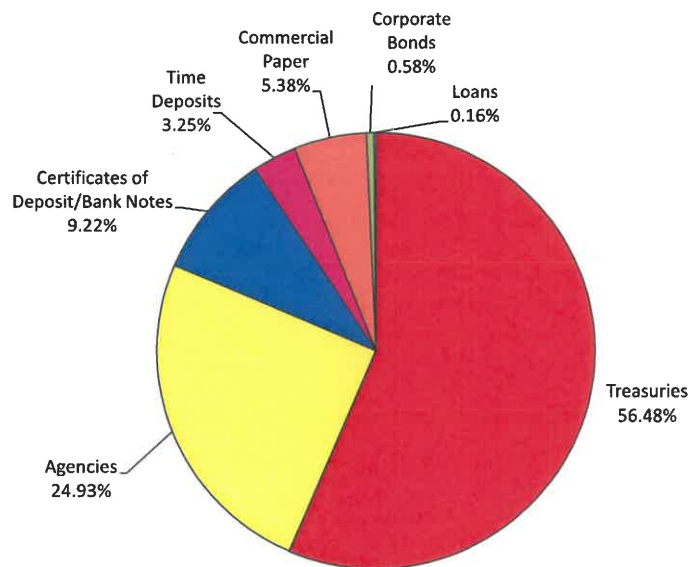


Chart does not include \$910,000.00 in mortgages, which equates to 0.001%. Percentages may not total 100% due to rounding.

Daily rates are now available here. [View PMIA Daily Rates](#)

Notes: The apportionment rate includes interest earned on the CalPERS Supplemental Pension Payment pursuant to Government Code 20825 (c)(1).

*The percentage of administrative cost equals the total administrative cost divided by the quarterly interest earnings. The law provides that administrative costs are not to exceed 5% of quarterly EARNINGS of the fund. However, if the 13-week Daily Treasury Bill Rate on the last day of the fiscal year is below 1%, then administrative costs shall not exceed 8% of quarterly EARNINGS of the fund for the subsequent fiscal year.

Source:

⁽¹⁾ State of California, Office of the Treasurer

⁽²⁾ State of California, Office of the Controller



MALIA M. COHEN
California State Controller

LOCAL AGENCY INVESTMENT FUND
REMITTANCE ADVICE

Agency Name	20TH DIST AGRICULTURAL ASSN
Account Number	13-31-001

As of 1/15/2026, your Local Agency Investment Fund account has been directly credited with the interest earned on your deposits for the quarter ending 12/31/2025.

Earnings Ratio		0.00011512010685708
Interest Rate		4.20%
Dollar Day Total	\$	290,994.54
Quarter End Principal Balance	\$	3,565.65
Quarterly Interest Earned	\$	33.50

CDFA Online University Training – Current as of 1/20/2026

Name (BP in Bold)	Last OU Login	EEO - Maintaining A Respectful Work Environment - 2 Yrs	Ethics Orientation - 2 Yrs	Protecting Privacy in State Government - Annually	2024 Form 700 - Annually
Vercruyssen	1/12/2026	7/11/2024	6/13/2024	1/12/2026	Yes
Crowley	1/6/2026	12/17/2024	12/17/2024	12/19/2024	Yes
Houston	6/17/2024	6/14/2024	6/11/2024	6/14/2024	Yes
Vegaalban	1/22/2025	4/9/2024	1/3/2024	1/22/2025	Yes
Bailey	1/15/2026	9/28/2025	10/29/2025	1/15/2026	Yes
Johnson	1/8/2025	10/7/2024	1/9/2025	1/6/2025	Yes



SATURDAY, FEBRUARY 28, 2026 AT 5PM
1273 HIGH STREET, AUBURN, CA
LOCATED IN THE PLACER BUILDING



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Admissions

GENERAL ADMISSION | \$70

INCLUDES ALL YOU CAN EAT CRAB DINNER, SHRIMP COCKTAIL, CLAM CHOWDER, HOUSE SALAD, AND MELTED BUTTER.

TASTE OF VIP | \$300

INCLUDES ALL YOU CAN EAT CRAB DINNER FOR 2, SHRIMP COCKTAIL, CLAM CHOWDER, HOUSE SALAD, AND MELTED BUTTER. PLUS 2 DRINK TICKETS AND RESERVED SEATING.

VIP TABLE: SENIOR LEVEL | \$1,250

INCLUDES ALL YOU CAN EAT CRAB DINNER FOR 8, SHRIMP COCKTAIL, CLAM CHOWDER, HOUSE SALAD, AND MELTED BUTTER. PLUS 1 BOTTLE OF WINE AND RESERVED SEATING.

VIP TABLE: SUPREME LEVEL | \$1,500

INCLUDES ALL YOU CAN EAT CRAB DINNER FOR 8, SHRIMP COCKTAIL, CLAM CHOWDER, HOUSE SALAD, AND MELTED BUTTER. PLUS 2 BOTTLES OF WINE, DESSERT, BBQ OYSTERS AND RESERVED SEATING.

TITLE TABLE | \$2,500 (1 AVAILABLE)

INCLUDES AN ALL YOU CAN EAT CRAB DINNER FOR 8, SHRIMP COCKTAIL, CLAM CHOWDER, HOUSE SALAD, GARLIC BREAD & MELTED BUTTER PLUS 3 BOTTLES OF WINE, TRI-TIP, **BBQ OYSTERS**, DESSERT, AND RESERVED SEATING.

TRITIP ADD ON | \$20 / PERSON

AVAILABLE AT ALL ADMISSION LEVELS

BBQ OYSTER ADD ON | \$20 / PERSON

AVAILABLE AT VIP ADMISSION LEVELS ONLY

PURCHASE TICKETS AT WWW.GOLDCOUNTRYFAIR.COM

SOROPTIMIST OF THE AMERICAN RIVER PRESENTS

Cinco de Mayo

GOLF TOURNAMENT

MAY 5TH

10:00AM

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